

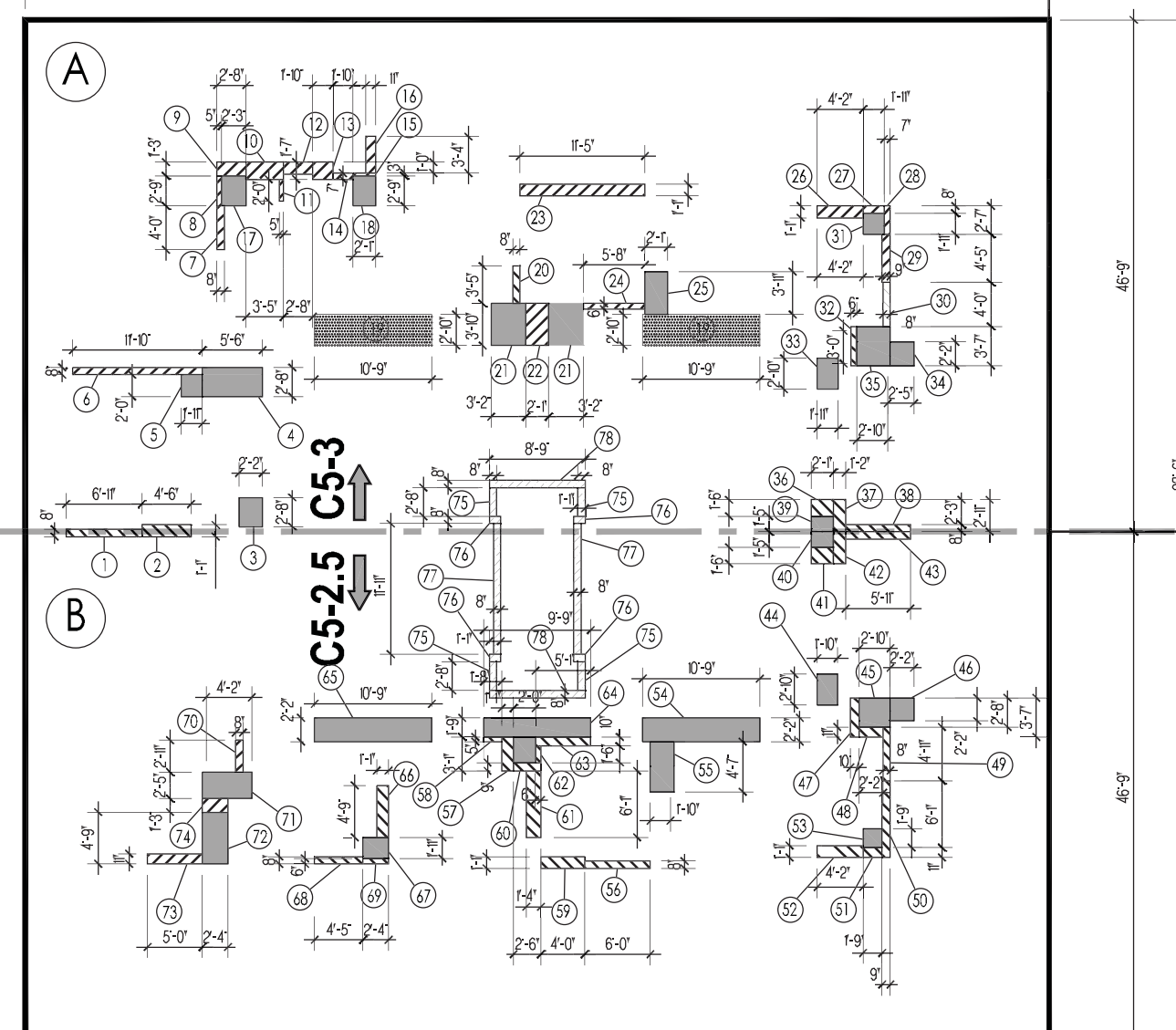
18th, 20th, 22nd, 24th, 26th & 28th FLOOR - RESIDENTIAL

C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)	95'-6" x 46'-9"	4,371	(B)	95'-6" x 46'-9"	4,371
TOTAL			TOTAL		
GFA TOTAL			8,742 SF		

DEDUCTIONS		RESIDENTIAL - C5-2.5 & C5-3		REMARKS	USE
NO.	SIZE (FT.)	AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/FLOOR (SF)	
1	6'-11" x 0'-8"	4.62	1	4.62	P
2	4'-6" x 1'-11"	4.86	1	4.86	P
3	2'-2" x 2'-8"	5.78	1	5.78	M
4	5'-6" x 2'-8"	14.67	1	14.67	M
5	1'-11" x 2'-0"	3.83	1	3.83	M
6	11'-10" x 0'-8"	7.89	1	7.89	P
7	0'-9" x 4'-0"	2.67	1	2.67	P
8	0'-2" x 2'-9"	1.15	1	1.15	P
9	2'-8" x 1'-3"	3.33	1	3.33	P
10	3'-5" x 1'-7"	5.41	1	5.41	P
11	0'-5" x 2'-0"	0.83	1	0.83	P
12	2'-8" x 1'-0"	2.89	1	2.89	P
13	1'-10" x 1'-7"	2.90	1	2.90	P
14	1'-10" x 0'-7"	1.10	1	1.10	P
15	2'-1" x 0'-3"	0.52	1	0.52	P
16	0'-11" x 3'-4"	3.07	1	3.07	P
17	2'-3" x 2'-9"	6.19	1	6.19	M
18	2'-1" x 2'-9"	5.73	1	5.73	M
19	10'-9" x 2'-10"	30.34	2	60.68	E
20	0'-8" x 3'-5"	2.28	1	2.28	P
21	3'-2" x 3'-10"	12.14	2	24.28	M
22	2'-1" x 3'-10"	7.99	1	7.99	P
23	11'-5" x 1'-11"	12.37	1	12.37	P
24	5'-8" x 0'-6"	2.81	1	2.81	P
25	2'-1" x 3'-11"	8.16	1	8.16	M
26	4'-2" x 1'-11"	4.51	1	4.51	P
27	1'-11" x 0'-8"	1.28	1	1.28	P
28	0'-7" x 2'-7"	1.51	1	1.51	P
29	0'-9" x 4'-5"	3.31	1	3.31	P
30	0'-8" x 4'-0"	2.67	1	2.67	P
31	1'-11" x 1'-11"	3.67	1	3.67	M
32	0'-4" x 3'-0"	1.79	1	1.79	P
33	1'-11" x 2'-10"	5.43	1	5.43	M
34	2'-5" x 2'-2"	4.70	1	4.70	M
35	2'-10" x 3'-7"	11.10	1	11.10	M
36	2'-1" x 1'-6"	3.06	1	3.06	P
37	1'-2" x 2'-11"	3.28	1	3.28	P
38	5'-11" x 0'-8"	3.94	1	3.94	P
39	2'-1" x 1'-5"	2.89	1	2.89	M
SUB-TOTAL				249.16	

DEDUCTIONS		RESIDENTIAL - C5-2.5 & C5-3		REMARKS	USE
NO.	SIZE (FT.)	AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/FLOOR (SF)	
40	2'-1" x 1'-5"	2.89	1	2.89	M
41	2'-1" x 1'-6"	3.06	1	3.06	P
42	1'-2" x 2'-11"	3.28	1	3.28	P
43	5'-11" x 0'-8"	3.94	1	3.94	P
44	1'-10" x 2'-10"	5.19	1	5.19	M
45	2'-10" x 2'-8"	7.56	1	7.56	M
46	2'-2" x 2'-1 1/2"	4.60	1	4.60	M
47	0'-10" x 3'-7"	2.85	1	2.85	P
48	2'-2" x 0'-11"	1.99	1	1.99	P
49	0'-8" x 4'-11"	3.28	1	3.28	P
50	0'-9" x 6'-11"	5.25	1	5.25	P
51	1'-9" x 1'-1"	1.57	1	1.57	P
52	4'-2" x 1'-1"	4.51	1	4.51	P
53	1'-9" x 1'-9"	3.06	1	3.06	M
54	10'-9" x 2'-2"	23.20	1	23.20	M
55	1'-10" x 4'-7"	9.93	1	9.93	M
56	6'-0" x 0'-8"	4.00	1	4.00	P
57	4'-0" x 1'-1"	4.33	1	4.33	P
58	1'-7 1/2" x 0'-5"	0.68	1	0.68	P
59	1'-1" x 3'-1"	3.34	1	3.34	P
60	2'-0" x 0'-8 1/2"	1.88	1	1.88	P
61	1'-6" x 6'-1"	8.11	1	8.11	P
62	0'-6" x 1'-6"	0.75	1	0.75	P
63	5'-1" x 0'-10"	4.20	1	4.20	P
64	9'-9" x 1'-9"	17.06	1	17.06	M
65	10'-9" x 2'-2"	23.20	1	23.20	M
66	1'-1" x 4'-9"	5.15	1	5.15	P
67	2'-4" x 1'-11"	4.47	1	4.47	M
68	4'-5" x 0'-8"	2.94	1	2.94	P
69	2'-4" x 0'-6"	1.67	1	1.67	P
70	0'-8" x 2'-11"	1.94	1	1.94	P
71	4'-2" x 2'-5"	10.88	1	10.88	M
72	2'-4" x 4'-9"	11.01	1	11.01	M
73	5'-0" x 0'-11"	4.60	1	4.60	P
74	2'-4" x 1'-5"	2.89	1	2.89	P
75	0'-8" x 2'-8"	1.75	4	7.00	STAIR DUCT.
76	1'-1" x 0'-8"	0.69	4	2.76	STAIR DUCT.
77	0'-8" x 11'-11"	7.96	2	15.92	STAIR DUCT.
78	8'-9" x 0'-8"	5.83	2	11.66	STAIR DUCT.
SUB-TOTAL				246.6	

TOTAL DEDUCTIONS = 495.76 SF



C5-3 ↔ C5-2.5

C5-2.5 ↔ C5-3

18th, 20th, 22nd, 24th, 26th & 28th FLOOR PLANS

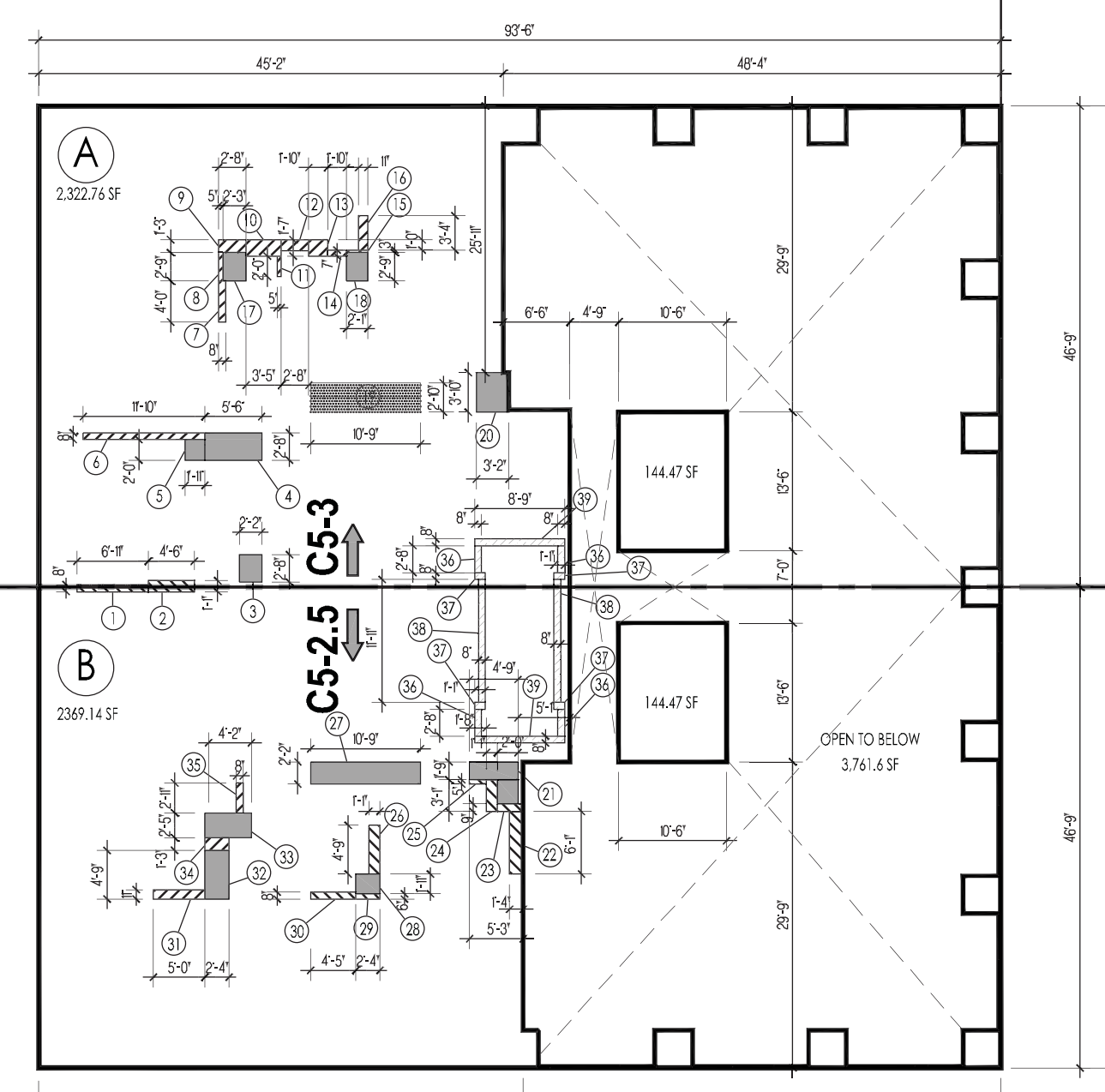
1/16" = 1'-0"

19th, 21st, 23rd, 25th, 27th & 29th FLOOR - RESIDENTIAL

C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)	45'-2" x 46'-9"	2,323	(B)	95'-6" x 46'-9"	2,369
	10'-6" x 13'-5"	144.47		10'-6" x 13'-5"	144.47
TOTAL			TOTAL		
GFA TOTAL			4,980 SF		

DEDUCTIONS		RESIDENTIAL - C5-2.5 & C5-3		REMARKS	USE
NO.	SIZE (FT.)	AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/FLOOR (SF)	
1	6'-11" x 0'-8"	4.62	1	4.62	P
2	4'-6" x 1'-11"	4.86	1	4.86	P
3	2'-2" x 2'-8"	5.78	1	5.78	M
4	5'-6" x 2'-8"	14.67	1	14.67	M
5	1'-11" x 2'-0"	3.83	1	3.83	M
6	11'-10" x 0'-8"	7.89	1	7.89	P
7	0'-9" x 4'-0"	2.67	1	2.67	P
8	0'-2" x 2'-9"	1.15	1	1.15	P
9	2'-8" x 1'-3"	3.33	1	3.33	P
10	3'-5" x 1'-7"	5.41	1	5.41	P
11	0'-5" x 2'-0"	0.83	1	0.83	P
12	2'-8" x 1'-0"	2.89	1	2.89	P
13	1'-10" x 1'-7"	2.90	1	2.90	P
14	1'-10" x 0'-7"	1.10	1	1.10	P
15	2'-1" x 0'-3"	0.52	1	0.52	P
16	0'-11" x 3'-4"	3.07	1	3.07	P
17	2'-3" x 2'-9"	6.19	1	6.19	M
18	2'-1" x 2'-9"	5.73	1	5.73	M
19	10'-9" x 2'-10"	30.34	1	30.34	E
20	2'-1" x 3'-10"	12.14	1	12.14	P
21	5'-3" x 1'-9"	8.24	1	8.24	M
22	1'-4" x 6'-1"	8.11	1	8.11	P
23	2'-6" x 0'-9"	1.88	1	1.88	P
24	4'-0" x 1'-1"	4.33	1	4.33	P
25	1'-7 1/2" x 0'-5"	0.68	1	0.68	P
26	1'-1" x 4'-9"	5.15	1	5.15	P
27	10'-9" x 2'-2"	23.20	1	23.20	M
28	2'-4" x 1'-11"	4.47	1	4.47	M
29	2'-4" x 0'-6"	1.67	1	1.67	P
30	4'-5" x 0'-8"	2.94	1	2.94	P
31	5'-0" x 0'-11"	4.60	1	4.60	P
32	2'-4" x 4'-9"	11.01	1	11.01	M
33	4'-2" x 2'-5"	10.88	1	10.88	M
34	2'-4" x 1'-3"	2.89	1	2.89	P
35	0'-8" x 2'-11"	1.94	1	1.94	P
36	0'-8" x 2'-8"	1.75	4	7.00	STAIR DUCT.
37	1'-1" x 0'-8"	0.69	4	2.76	STAIR DUCT.
38	0'-8" x 11'-11"	7.96	2	15.92	STAIR DUCT.
39	8'-9" x 0'-8"	5.83	2	11.66	STAIR DUCT.
TOTAL				249.25	

TOTAL DEDUCTIONS = 249.25 SF



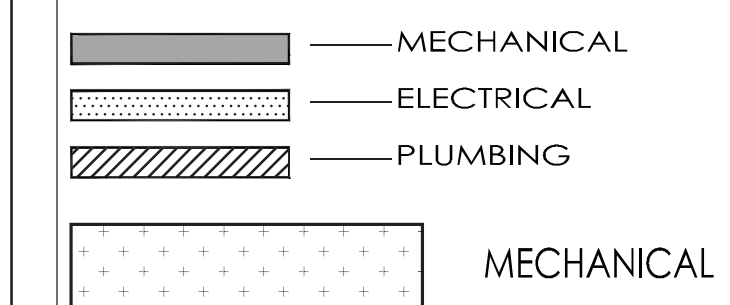
C5-3 ↔ C5-2.5

C5-2.5 ↔ C5-3

19th, 21st, 23rd, 25th, 27th & 29th FLOOR PLANS

1/16" = 1'-0"

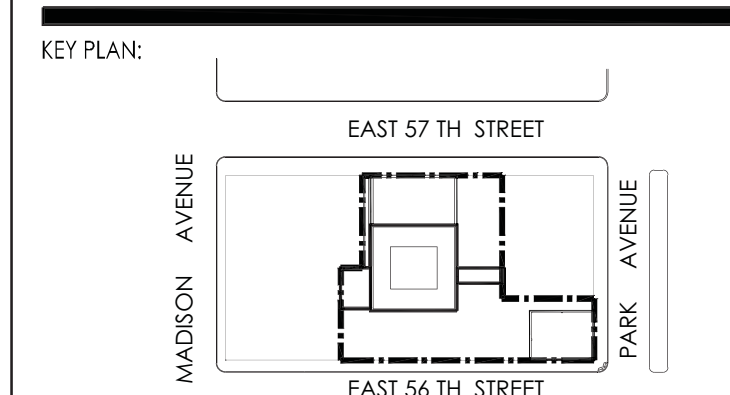
LEGEND



06.01.2012 PAA
03.30.2012 DESIGN DEVELOPMENT SUBMISSION
02.21.2012 RESPONSE TO DOB COMMENTS
10.25.2011 DOB SUBMITTAL

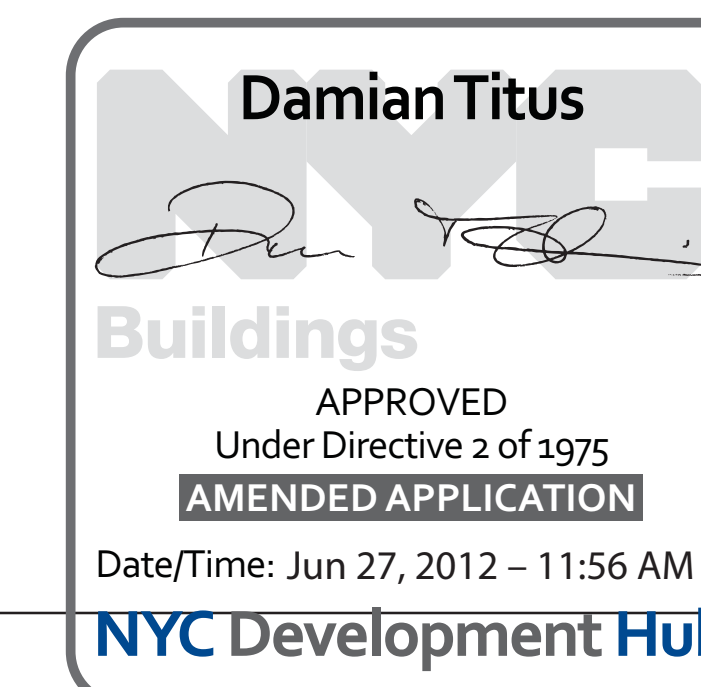
No: Date: Revision:

SCALE:



ZONING CALCULATIONS, FLOOR AREAS & DEDUCTIONS

SEAL & SIGNATURE: **Damian Titus**
DATE: 2010-10-10
PROJECT NO: 2010-40
DRAWN BY: **Georia B. O'Connell**
CHECKED BY: **Georia B. O'Connell**
DRAWING NO: **Z-012.01**
DATE/TIME: Jun 27, 2012 - 11:56 AM
CAD FILE NO: **Z-012.01**
OF 149



440 PARK AVENUE

NEW BUILDING
BLOCK 1292 - LOT 33, 46, 145, 45, 44, 43

440 PARK AVENUE

PROJECT:

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
765 5TH AVENUE
NEW YORK, NY 10153 TEL: 212.554.5825

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL: 212.687.1988

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3682

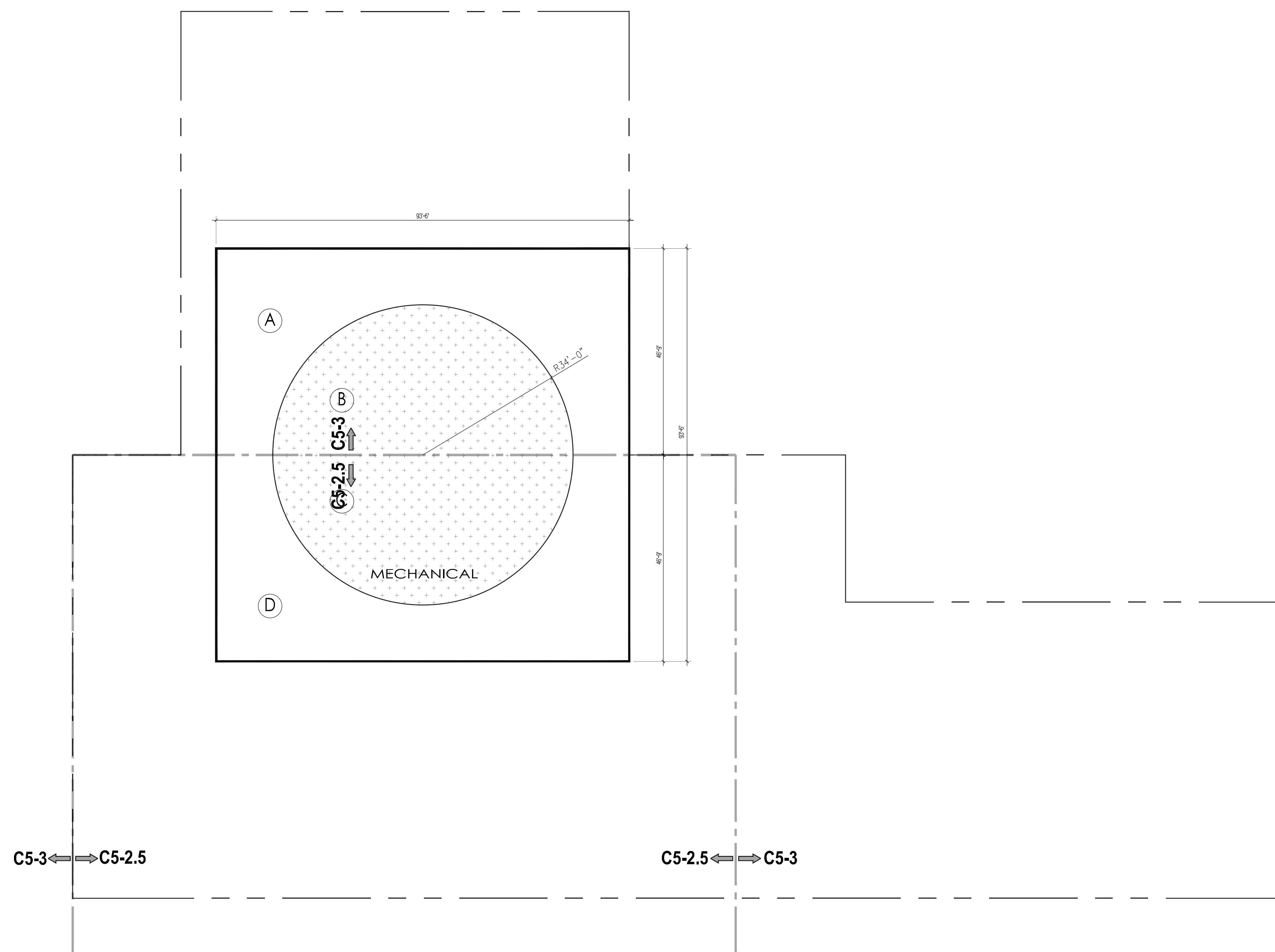
M E P ENGINEER:
WSP FLACK + KURTZ
512 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9620

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4031

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
320 WEST 42ND STREET
NEW YORK, NY 10036 TEL: 212.714.0200

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL: 212.349.9204

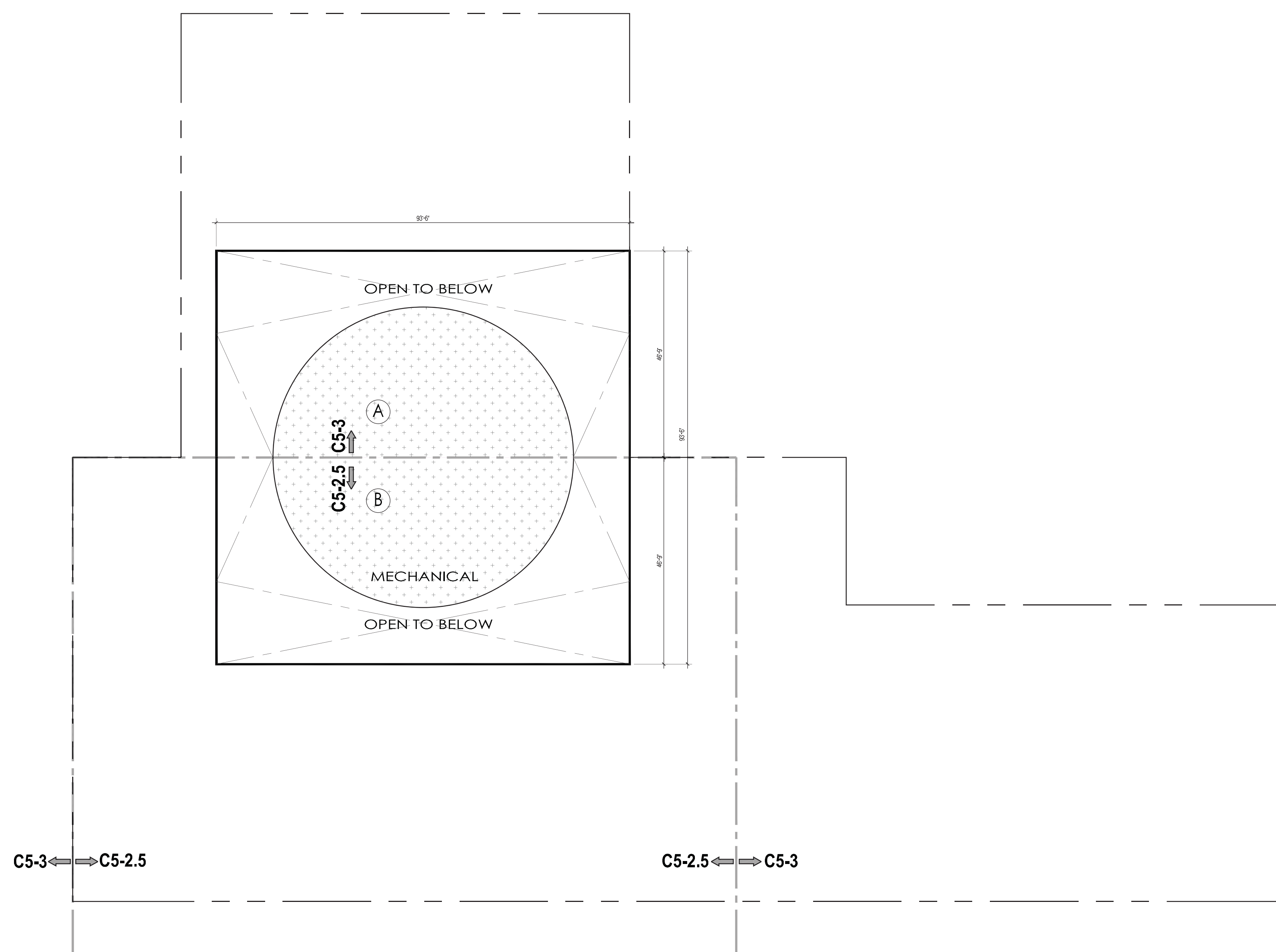
GEO-TECHNICAL CONSULTANT:
MUESER RUTLEDGE
145 BROADWAY
NEW YORK, NY 10012 TEL: 917.339.9310



30th FLOOR - MECH.					
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)	TERRACE	2,555	(C)	MECHANICAL	2,555
(B)	MECHANICAL	1,816	(D)	TERRACE	1,816
TOTAL		4,371	TOTAL		4,371
GFA TOTAL			8,742 SF		

DEDUCTIONS										
NO.	SIZE (FT.)	COMMERCIAL				RESIDENTIAL				USE
		AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/SPACE (SF)	REMARKS	AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/SPACE (SF)	REMARKS	
1										
2										
3										
4										
5										
6										
7										
8										
9										
10										
12										
13										
15a										
15b										
TOTAL										

30TH FLOOR

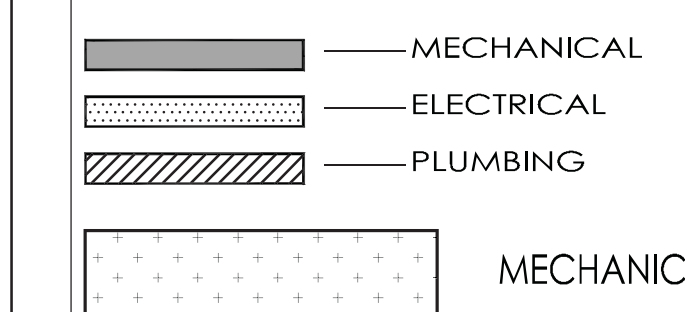


31ST FLOOR - MECH.					
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)		1,816	(B)		1,816
TOTAL		1,816	TOTAL		1,816
GFA TOTAL			3,632 SF		

DEDUCTIONS										
NO.	SIZE (FT.)	COMMERCIAL				RESIDENTIAL				USE
		AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/SPACE (SF)	REMARKS	AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/SPACE (SF)	REMARKS	
1										
2										
3										
4										
5										
6										
7										
8										
9										
10										
12										
13										
15a										
15b										
TOTAL										

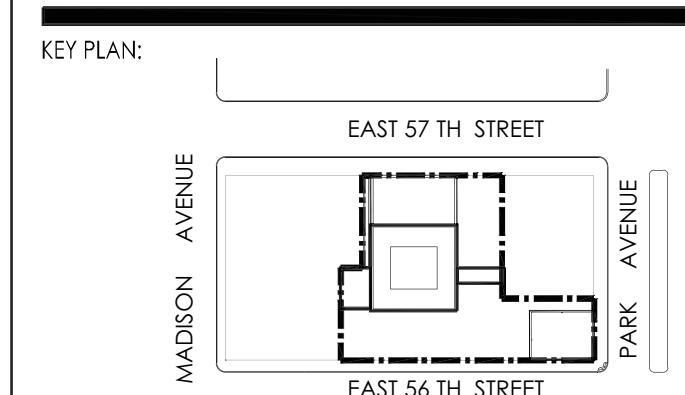
31ST FLOOR

LEGEND



06.01.2012 PAA
03.30.2012 DESIGN DEVELOPMENT SUBMISSION
03.21.2012 RESPONSE TO DOB COMMENTS
10.25.2011 DOB SUBMITTAL

No: _____ Date: _____
Scale: _____



DRAWING TITLE:
ZONING CALCULATIONS,
FLOOR AREAS & DEDUCTIONS

Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:56 AM
NYC Development Hub

SEAL & SIGNATURE: [Signature]
DATE: 2010-40
PROJECT NO: 2010-40
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DRAWING NO: Z-013.01
CADD FILE NO: [Signature]
OF 149

440 PARK AVENUE

NEW BUILDING
BLOCK 1292 - LOT 33, 46, 145, 45, 44, 43

440 PARK AVENUE

PROJECT:

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
765 5TH AVENUE
NEW YORK, NY 10013 TEL: 212.554.5825

EXECUTIVE ARCHITECT:
SLCE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10013 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VAN HANDEL STREET
NEW YORK, NY 10013 TEL: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
228 EAST 6TH STREET
NEW YORK, NY 10017 TEL: 212.667.1988

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3882

M.E.P. ENGINEER:
WSP FLACK + KURTZ
512 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.533.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4031

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
320 WEST 42ND STREET
NEW YORK, NY 10018 TEL: 212.714.0200

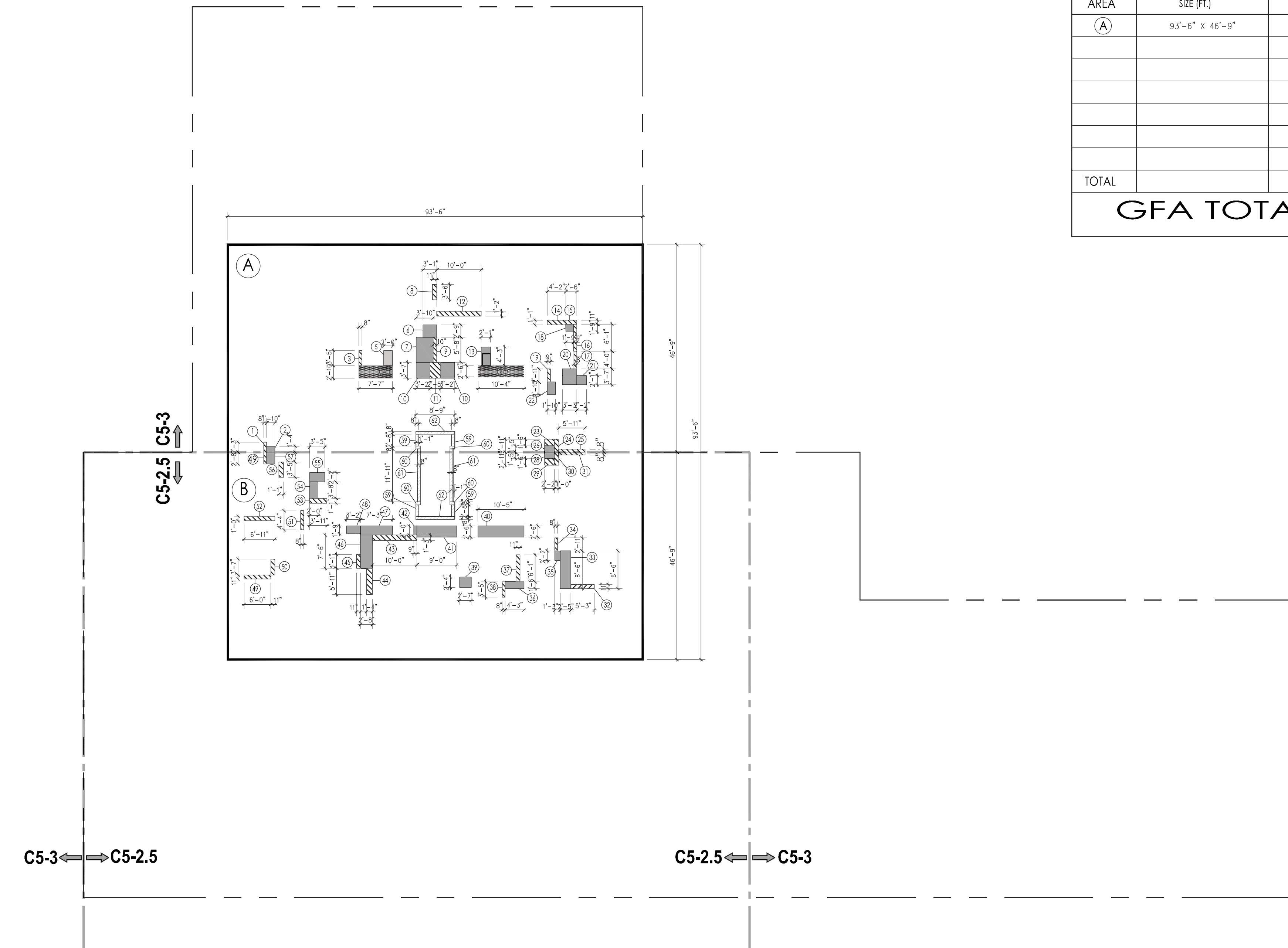
CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL: 212.349.9204

GEO TECHNICAL CONSULTANT:
MUESER RUTLEDGE
14 FIFTH AVENUE
NEW YORK, NY 10122 TEL: 917.339.9310

32nd THROUGH 43RD FLOOR - RESIDENTIAL

C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)	93'-6" x 46'-9"	4,371	(B)	93'-6" x 46'-9"	4,371
TOTAL		4,371	TOTAL		4,371
GFA TOTAL			8,742 SF		

NO.	SIZE (FT.)	RESIDENTIAL - C5-2.5 & C5-3			REMARKS	USE
		AREA/SPACE (SQ)	AMOUNT/FLOOR	AREA/FLOOR (SQ)		
1	0'-8" x 2'-3"	1.47	1	1.47		P
2	1'-10" x 1'-4"	2.44	1	2.44		M
3	0'-8" x 3'-5"	2.28	1	2.28		P
4	7'-2" x 2'-10"	18.96	1	21.49		E
5	2'-0" x 3'-5"	6.83	1	6.83		M
6	3'-1" x 2'-9"	8.48	1	8.48		M
7	3'-10" x 3'-8"	21.64	1	21.64		M
8	0'-11" x 3'-6"	3.34	1	3.34		P
9	0'-10" x 3'-8"	4.70	1	4.70		P
10	3'-2" x 3'-2"	11.34	2	22.68		M
11	2'-5" x 3'-2"	8.71	1	8.71		P
12	10'-0" x 1'-0"	11.19	1	11.19		P
13	2'-1" x 4'-5"	8.77	1	8.77		M
14	4'-2" x 1'-1"	4.60	1	4.60		P
15	2'-6" x 0'-11"	2.29	1	2.29		P
16	0'-9" x 6'-1"	4.58	1	4.58		P
17	0'-8" x 4'-0"	2.67	1	2.67		P
18	1'-9" x 1'-9"	2.19	1	2.19		M
19	0'-9" x 2'-11"	1.49	1	1.49		P
20	3'-3" x 3'-2"	11.65	1	11.65		M
21	2'-2" x 2'-1"	4.51	1	4.51		M
22	1'-10" x 2'-10"	5.19	1	5.19		M
23	2'-2" x 1'-4"	3.25	1	3.25		P
24	1'-0" x 2'-11"	2.92	1	2.92		P
25	5'-11" x 0'-8"	3.94	1	3.94		P
26	2'-2" x 1'-5"	3.07	1	3.07		M
27	10'-4" x 2'-6"	25.89	1	25.89		E
SUB-TOTAL				202.26		



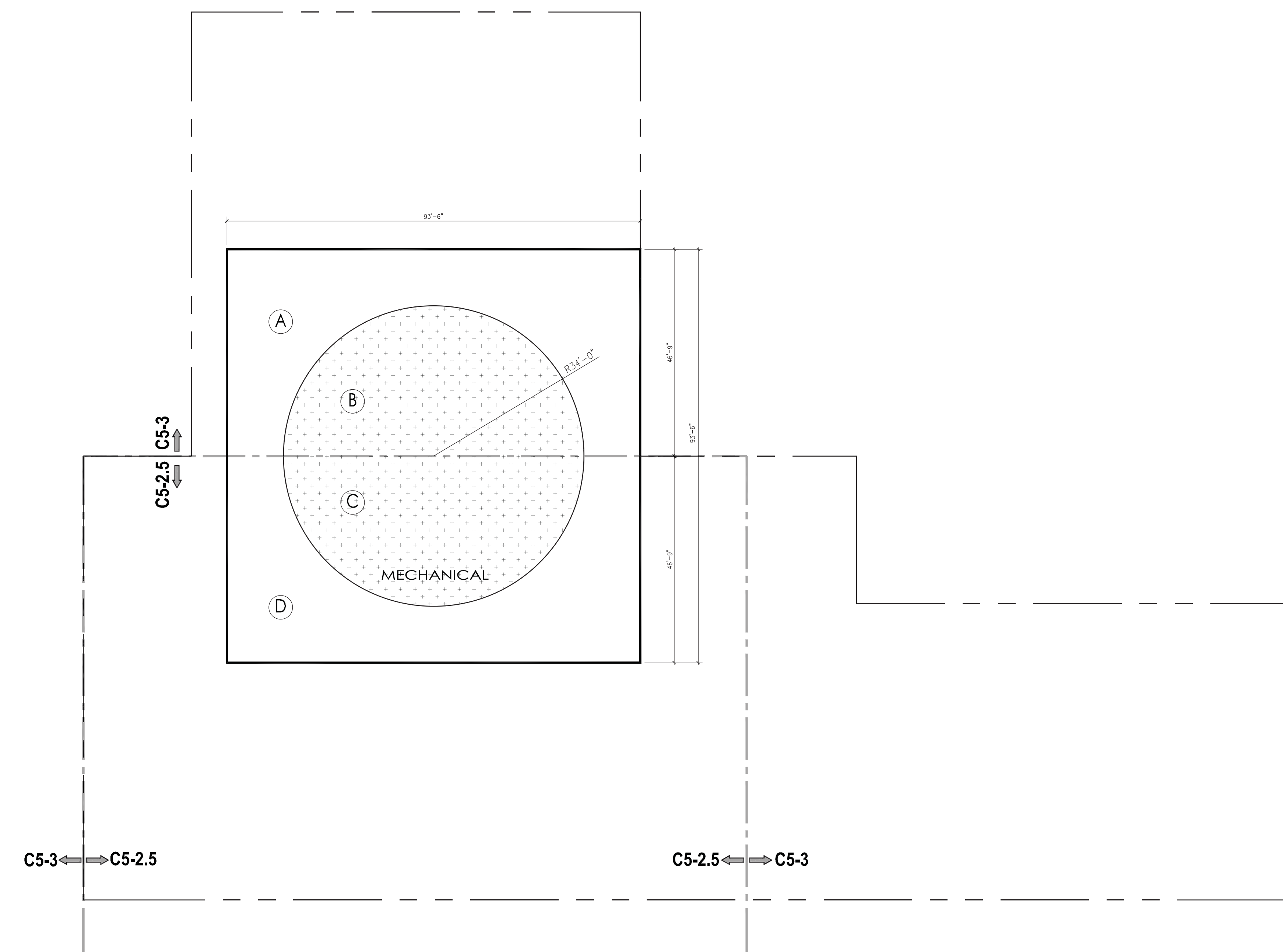
32nd thru 43rd FLOOR

1/16" = 1'-0"

44th FLOOR - MECH.

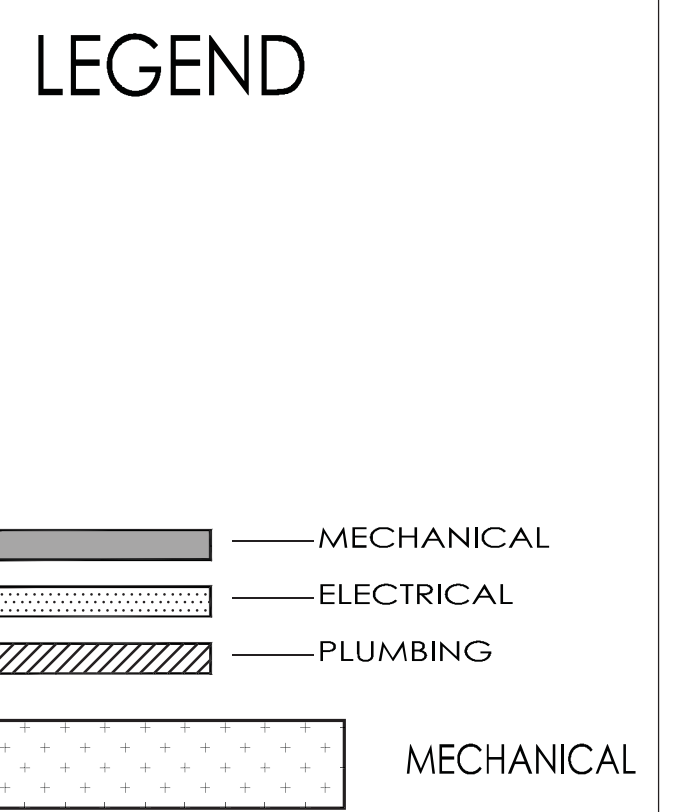
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)	TERRACE	2,555	(C)	MECHANICAL	2,555
(B)	MECHANICAL	1,816	(D)	TERRACE	1,816
TOTAL		4,371	TOTAL		4,371
GFA TOTAL			8,742 SF		

NO.	SIZE (FT.)	COMMERCIAL			RESIDENTIAL			REMARKS	USE
		AREA/SPACE (SQ)	AMOUNT/FLOOR	AREA/FLOOR (SQ)	AREA/SPACE (SQ)	AMOUNT/FLOOR	AREA/FLOOR (SQ)		
1									
2									
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14									
15									
16									
17									
18									
19									
20									
21									
22									
23									
24									
25									
26									
27									
TOTAL									



44th FLOOR

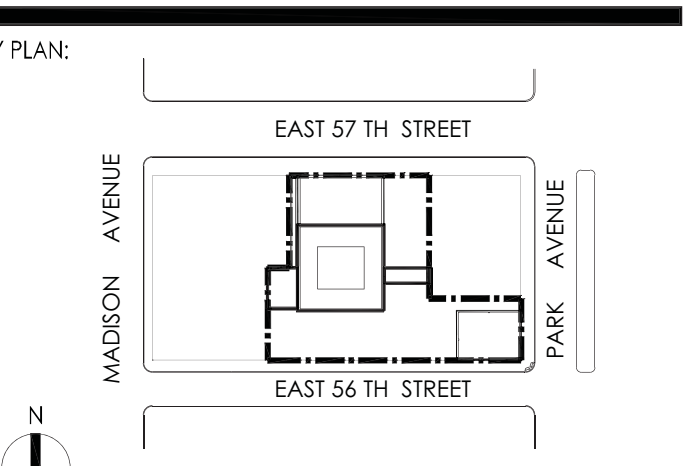
1/16" = 1'-0"



DATE	DESCRIPTION
06.01.2012	PA&A
03.30.2012	DESIGN DEVELOPMENT SUBMISSION
03.21.2012	RESPONSE TO DOB COMMENTS
10.25.2011	DOB SUBMITTAL

No: _____ Date: _____ Revision: _____

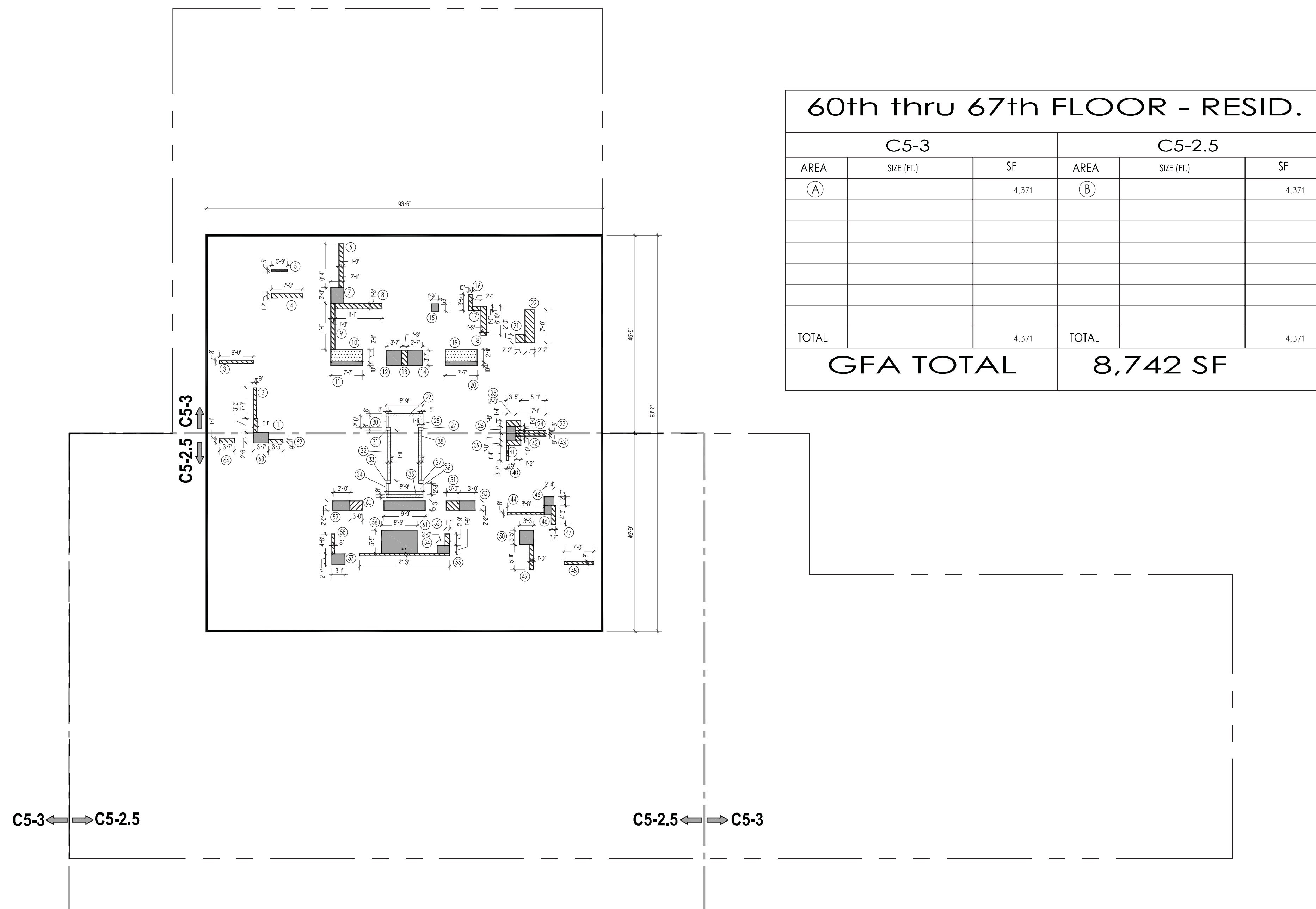
SCALE: _____



DRAWING TITLE:
**ZONING CALCULATIONS,
FLOOR AREAS & DEDUCTIONS**

Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:56 AM
NYC Development Hub

SEAL & SIGNATURE:
DATE: 2010-40
PROJECT NO:
DRAWN BY:
CHECKED BY:
DRAWING NO:
Z-014.01
CADD FILE NO:



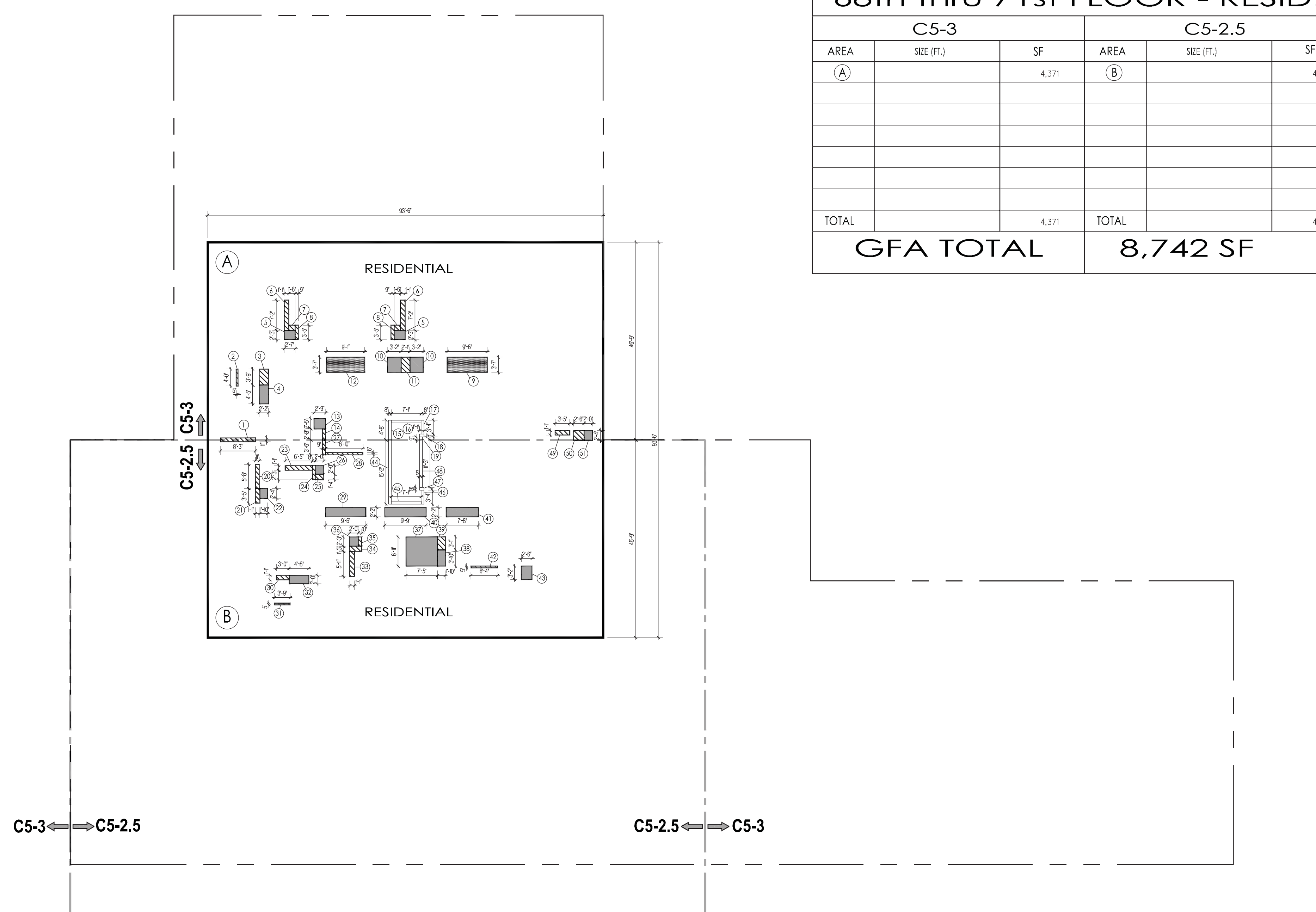
60th thru 67th FLOOR - RESID.					
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)		4,371	(B)		4,371
TOTAL			TOTAL		
GFA TOTAL			8,742 SF		

DEDUCTIONS							
NO.	SIZE (FT.)	RESIDENTIAL - C5-3/ C5-2.5	AREA/ SPACE (SF)	AMOUNT/ FLOOR (SF)	AREA/ FLOOR (SF)	REMARKS	USE
1	1'-1" x 3'-3"		3.52	1	3.52		P
2	0'-9" x 7'-3"		5.43	1	5.43		P
3	8'-0" x 0'-8"		5.58	1	5.58		P
4	7'-5" x 1'-2"		8.18	1	8.18		P
5	3'-9" x 0'-5"		1.56	1	1.56		P
6	1'-0" x 10'-4"		10.33	1	10.33		P
7	2'-11" x 3'-8"		10.69	1	10.69		M
8	11'-1" x 1'-3"		13.85	1	13.85		P
9	1'-0" x 11'-1"		10.95	1	10.95		P
10	7'-7" x 2'-11"		21.68	1	21.68		E
11	7'-7" x 0'-10"		6.28	1	6.28		M
12	3'-2" x 3'-2"		12.39	1	12.39		M
13	1'-3" x 3'-2"		4.47	1	4.47		P
14	3'-2" x 3'-2"		12.39	1	12.39		M
15	1'-9" x 1'-9"		3.00	1	3.00		M
16	0'-10" x 3'-9"		3.08	1	3.08		P
17	2'-4" x 1'-0"		2.05	1	2.05		P
18	1'-3" x 6'-10"		8.75	1	8.75		P
19	7'-7" x 2'-11"		21.68	1	21.68		E
20	7'-7" x 0'-10"		6.28	1	6.28		M
21	2'-2" x 2'-0"		4.33	1	4.33		P
22	2'-2" x 7'-10"		16.97	1	16.97		P
23	7'-1" x 0'-8"		4.72	1	4.72		P
24	1'-2" x 1'-0"		1.11	1	1.11		P
25	3'-5" x 1'-4"		4.55	1	4.55		P
26	2'-3" x 1'-8"		3.65	1	3.65		M
27	1'-1" x 0'-8"		.69	1	.69		P
28	0'-8" x 2'-8"		1.75	1	1.75		P
29	8'-9" x 0'-8"		5.83	1	5.83		P
30	0'-8" x 2'-8"		1.75	1	1.75		P
31	1'-1" x 0'-8"		.69	1	.69		P
32	0'-8" x 11'-11"		7.93	1	7.93		P
33	1'-1" x 0'-8"		.69	1	.69		P
TOTAL			449.82		449.82		

DEDUCTIONS							
NO.	SIZE (FT.)	RESIDENTIAL - C5-3/ C5-2.5	AREA/ SPACE (SF)	AMOUNT/ FLOOR (SF)	AREA/ FLOOR (SF)	REMARKS	USE
34	0'-8" x 2'-8"		1.75	1	1.75		P
35	8'-9" x 0'-8"		5.83	1	5.83		P
36	0'-8" x 2'-8"		1.75	1	1.75		P
37	1'-0" x 0'-8"		.69	1	.69		P
38	0'-8" x 11'-11"		7.93	1	7.93		P
39	2'-3" x 1'-5"		3.65	1	3.65		M
40	0'-5" x 3'-2"		1.47	1	1.47		P
41	3'-5" x 1'-4"		4.55	1	4.55		P
42	1'-2" x 1'-0"		1.11	1	1.11		P
43	7'-1" x 0'-8"		4.72	1	4.72		P
44	8'-8" x 0'-8"		5.59	1	5.59		P
45	2'-4" x 2'-0"		4.66	1	4.66		M
46	1'-2" x 2'-4"		3.76	1	3.76		M
47	1'-2" x 4'-6"		5.06	1	5.06		P
48	7'-0" x 0'-8"		4.88	1	4.88		P
49	1'-0" x 5'-11"		5.91	1	5.91		P
50	3'-3" x 3'-5"		11.10	1	11.10		M
51	3'-0" x 2'-2"		6.53	1	6.53		P
52	3'-10" x 2'-2"		8.27	1	8.27		M
53	1'-1" x 2'-9"		5.15	1	5.15		P
54	3'-0" x 1'-9"		5.15	1	5.15		M
55	2'-3" x 5'-5"		14.16	1	14.16		P
56	8'-5" x 5'-5"		45.59	1	45.59		M
57	3'-1" x 2'-7"		8.05	1	8.05		M
58	0'-8" x 4'-8"		3.11	1	3.11		P
59	3'-10" x 2'-2"		8.81	1	8.81		M
60	3'-0" x 2'-2"		6.53	1	6.53		M
61	9'-9" x 2'-3"		21.93	1	21.93		P
62	3'-5" x 0'-9"		2.56	1	2.56		P
63	3'-7" x 2'-6"		8.95	1	8.95		M
64	3'-7" x 1'-1"		3.81	1	3.81		P
TOTAL			449.82		449.82		

60st thru 67th FLOOR

1/16" = 1'-0"



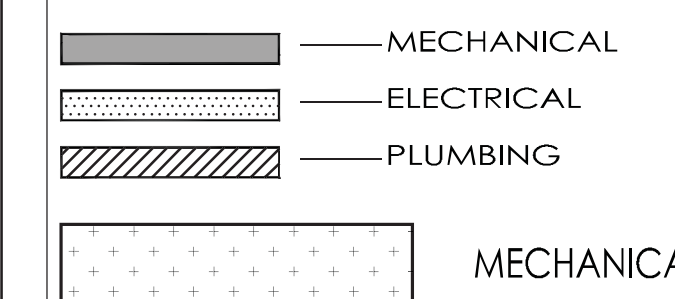
68th thru 71st FLOOR - RESID.					
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)		4,371	(B)		4,371
TOTAL			TOTAL		
GFA TOTAL			8,742 SF		

DEDUCTIONS							
NO.	SIZE (FT.)	RESIDENTIAL - C5-3 & C5-2.5	AREA/ SPACE (SF)	AMOUNT/ FLOOR (SF)	AREA/ FLOOR (SF)	REMARKS	USE
1	8'-3" x 11"		7.56	1	7.56		P
2	5" x 4'-0"		1.66	1	1.66		P
3	2'-2" x 3'-9"		8.13	1	8.13		P
4	2'-2" x 4'-5"		9.57	1	9.57		M
5	2'-2" x 2'-3"		5.81	2	11.62		M
6	1'-1" x 7'-2"		7.76	2	15.52		P
7	1'-6" x 1'-2"		1.75	2	3.50		P
8	9" x 3'-5"		2.56	2	5.12		P
9	9'-6" x 3'-2"		34.04	1	34.04		E
10	3'-2" x 3'-2"		11.35	1	11.35		M
11	2'-1" x 3'-2"		7.47	1	7.47		P
12	9'-1" x 3'-2"		32.55	1	32.55		E
13	2'-9" x 2'-5"		6.65	1	6.65		M
14	9" x 2'-8"		2.00	1	2.00		P
15	8" x 4'-8"		3.11	1	3.11		P
16	7'-1" x 8"		4.72	1	4.72		P
17	8" x 3'-4"		2.22	1	2.22		P
18	1'-1" x 8"		0.72	1	0.72		P
19	8" x 9"		0.50	1	0.50		P
20	11" x 5'-8"		5.19	1	5.19		P
21	1'-1" x 3'-5"		3.70	1	3.70		P
22	1'-10" x 2'-4"		4.28	1	4.28		M
23	6'-5" x 1'-1"		6.95	1	6.95		P
24	8" x 3'-4"		2.22	1	2.22		P
25	2'-0" x 1'-4"		2.67	1	2.67		P
26	2'-0" x 2'-0"		4.00	1	4.00		M
27	9" x 3'-6"		2.63	1	2.63		P
28	8'-10" x 6"		4.42	1	4.42		P
29	9'-6" x 2'-2"		20.58	1	20.58		M
30	3'-0" x 1'-1"		3.25	1	3.25		P
31	3'-9" x 5"		1.56	1	1.56		P
32	4'-8" x 2'-0"		9.33	1	9.33		M
33	1'-1" x 5'-11"		6.41	1	6.41		P
34	2'-10" x 1'-3"		3.54	1	3.54		P
35	10" x 2'-3"		1.88	1	1.88		P
36	2'-0" x 2'-3"		4.50	1	4.50		M
37	7'-5" x 6'-11"		51.30	1	51.30		M
38	1'-10" x 3'-10"		7.03	1	7.03		M
39	1'-10" x 3'-11"		5.65	1	5.65		P
40	9'-9" x 2'-2"		21.13	1	21.13		M
41	7'-8" x 2'-2"		16.61	1	16.61		M
42	6'-4" x 5"		2.64	1	2.64		P
43	2'-8" x 3'-2"		7.92	1	7.92		M
44	8" x 10'-4"		10.11	1	10.11		P
45	7'-1" x 8"		4.72	1	4.72		P
46	8" x 3'-4"		2.22	1	2.22		P
47	1'-1" x 8"		0.72	1	0.72		P
48	8" x 11'-3"		7.50	1	7.50		P
49	3'-5" x 1'-3"		3.70	1	3.70		P
50	2'-6" x 2'-4"		5.83	1	5.83		P
51	2'-0" x 2'-4"		4.67	1	4.67		M
TOTAL			406.87		406.87		

68th thru 71st FLOOR

1/16" = 1'-0"

LEGEND

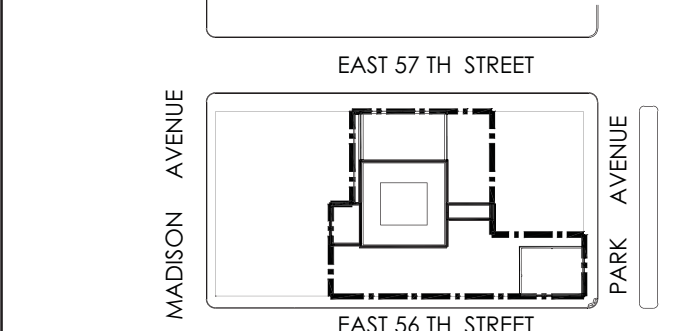


06.01.2012 FAA
03.30.2012 DESIGN DEVELOPMENT SUBMISSION
03.21.2012 RESPONSE TO DOB COMMENTS
10.25.2011 DOB SUBMITTAL

No: Date: Revision:

SCALE:

KEY PLAN:



DRAWING TITLE:

ZONING CALCULATIONS,
FLOOR AREAS & DEDUCTIONS

Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:56 AM
NYC Development Hub

SEAL & SIGNATURE: [Signature]
DATE: 2010-10-10
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DRAWING NO: Z-017.01
CADD FILE NO: [Signature]

440 PARK AVENUE

NEW BUILDING
BLOCK 1292 - LOT 33, 46, 145, 45, 44, 43

440 PARK AVENUE

PROJECT:

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
765 5TH AVENUE
NEW YORK, NY 10013 TEL.: 212.554.5825

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL.: 212.687.1988

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

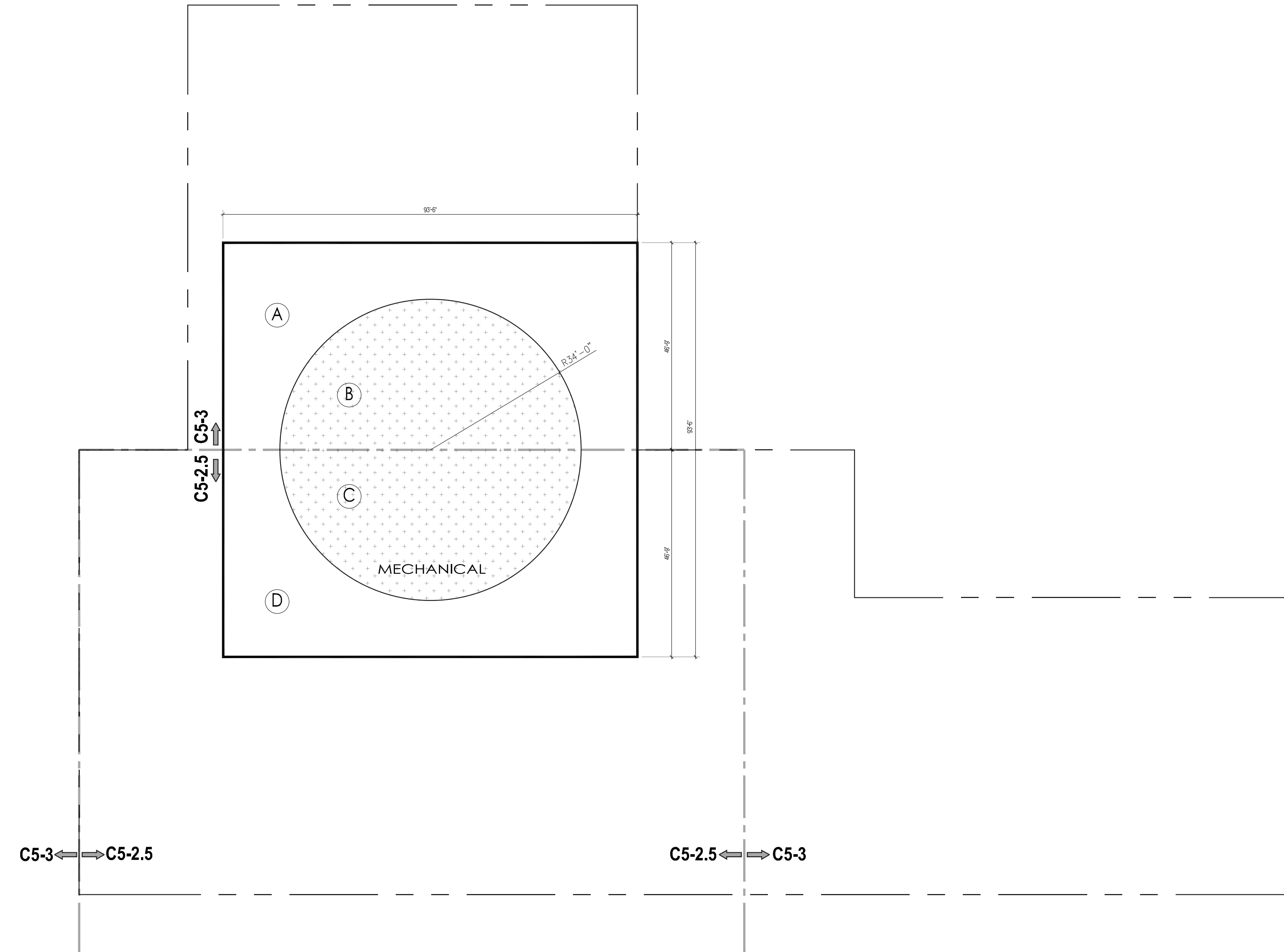
M.P.E. ENGINEER:
WSP FLACK + KURTZ
512 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.533.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4031

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
330 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0200

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL.: 212.349.9204

ZONING CONSULTANT:
GEO TECHNICAL CONSULTANT:
MUESER RUTLEDGE
14 FINCH PLAZA
NEW YORK, NY 10122 TEL.: 917.339.9310



72nd FLOOR - MECH.

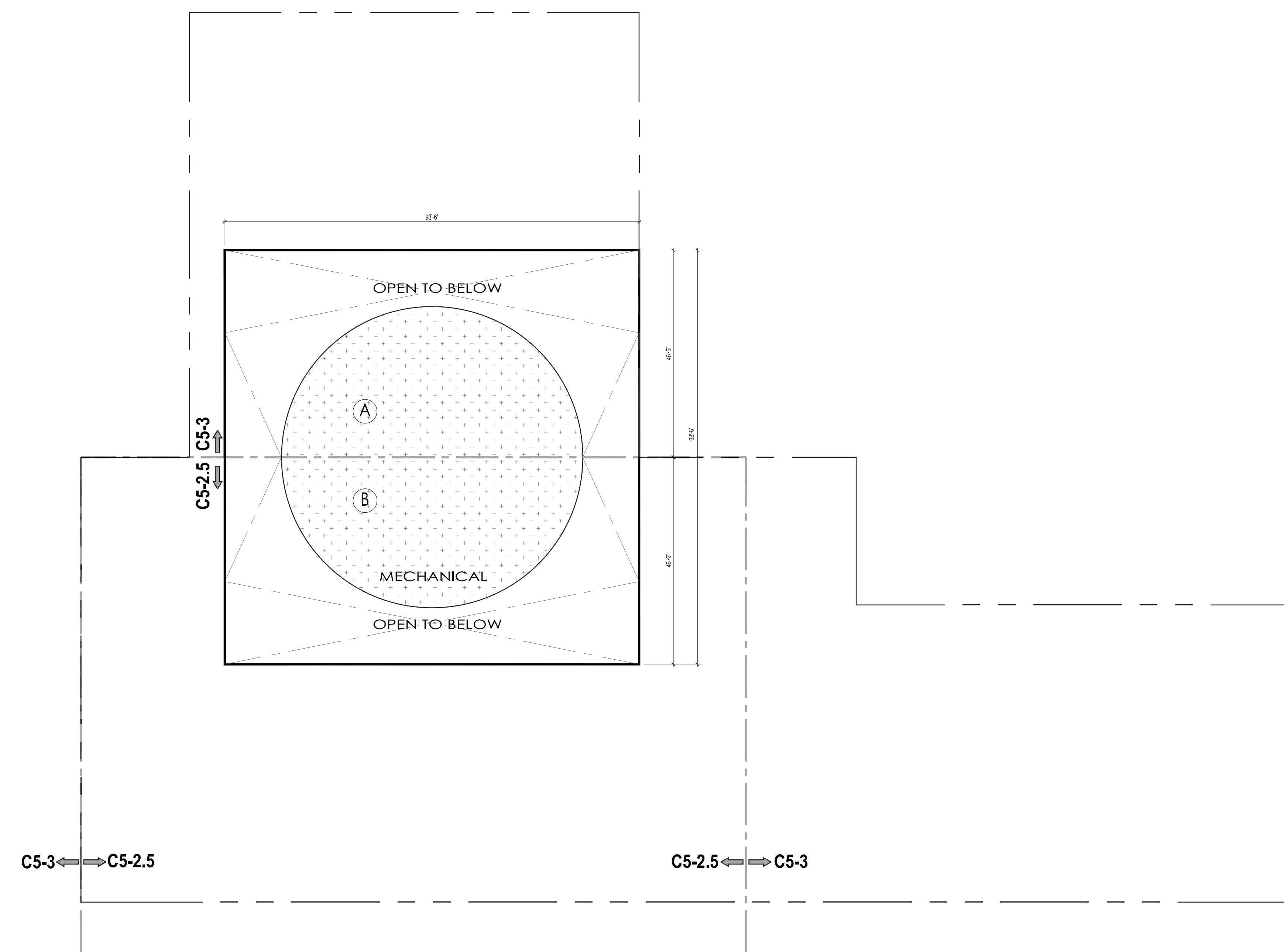
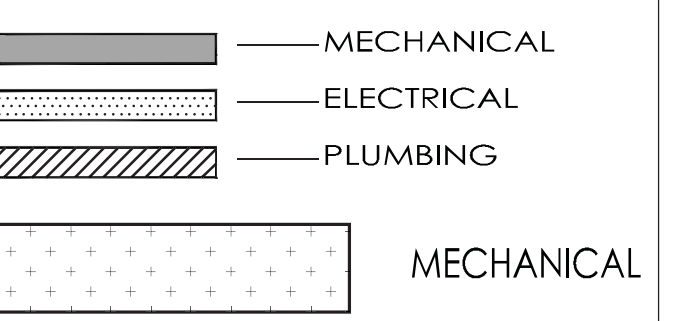
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)	TERRACE	2,555	(C)	MECHANICAL	2,555
(B)	MECHANICAL	1,816	(D)	TERRACE	1,816
TOTAL		4,371	TOTAL		4,371
GFA TOTAL			8,742 SF		

NO.	SIZE (FT.)	COMMERCIAL			RESIDENTIAL			REMARKS	USE
		AREA/SPACE (SF)	AMOUNT/ FLOOR	AREA/ FLOOR (SF)	AREA/SPACE (SF)	AMOUNT/ FLOOR	AREA/ FLOOR (SF)		
1									
2									
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14									
15									
16									
17									
18									
19									
20									
TOTAL									

72nd FLOOR

1/16" = 1'-0"

LEGEND



73rd FLOOR - RESID.

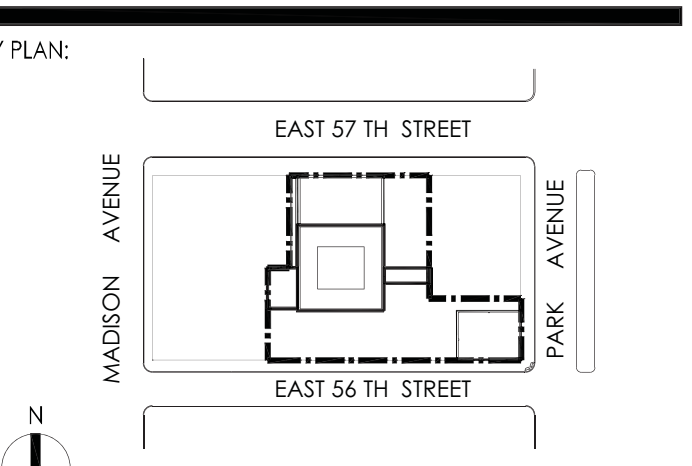
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)		1,816	(B)		1,816
TOTAL		1,816	TOTAL		1,816
GFA TOTAL			3,632 SF		

NO.	SIZE (FT.)	COMMERCIAL			RESIDENTIAL			REMARKS	USE
		AREA/SPACE (SF)	AMOUNT/ FLOOR	AREA/ FLOOR (SF)	AREA/SPACE (SF)	AMOUNT/ FLOOR	AREA/ FLOOR (SF)		
1									
2									
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14									
15									
16									
17									
18									
19									
20									
TOTAL									

Damian Titus

 Buildings
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:56 AM
 NYC Development Hub

DATE	DESCRIPTION
06.01.2012	FAA
03.30.2012	DESIGN DEVELOPMENT SUBMISSION
02.21.2012	RESPONSE TO DOB COMMENTS
10.25.2011	DOB SUBMITTAL



ZONING CALCULATIONS, FLOOR AREAS & DEDUCTIONS

SEAL & SIGNATURE:
 DATE: 2010-40
 PROJECT NO.:
 DRAWN BY:
 CHECKED BY:
 DRAWING NO.: Z-018.01
 CADD FILE NO.:

73rd FLOOR

1/16" = 1'-0"

440 PARK AVENUE

NEW BUILDING
BLOCK 1292 - LOT 33, 46, 145, 45, 44, 43

440 PARK AVENUE

PROJECT:

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
765 5TH AVENUE
NEW YORK, NY 10153 TEL.: 212.554.5825

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL.: 212.687.1988

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

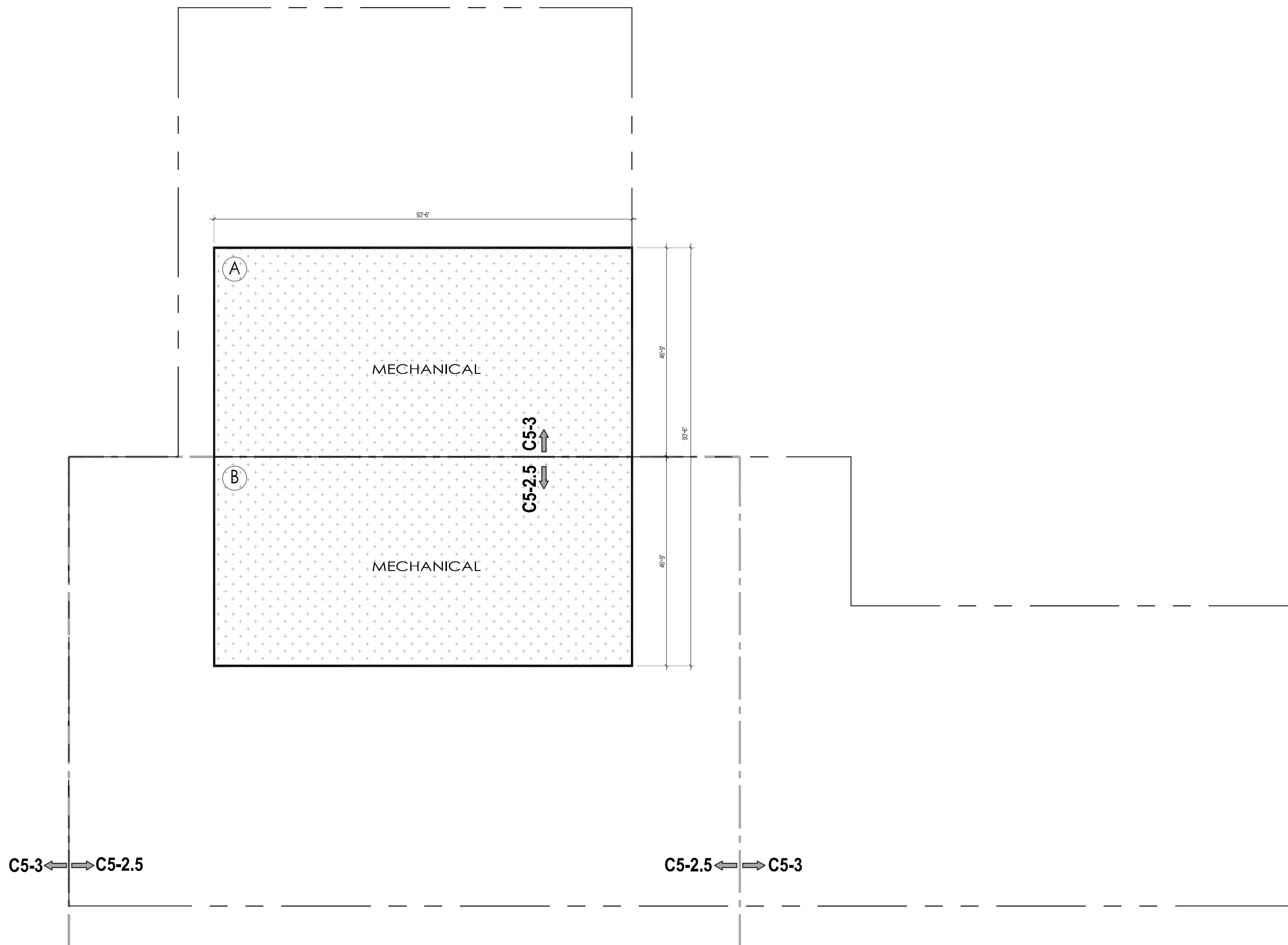
M.E.P. ENGINEER:
WSP FLACK + KURTZ
512 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4051

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
320 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0200

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL.: 212.349.9204

ZONING CONSULTANT:
GEO/TECHNICAL CONSULTANT:
MUESER RUTLEDGE
148 FIFTH AVENUE
NEW YORK, NY 10122 TEL.: 917.339.9310



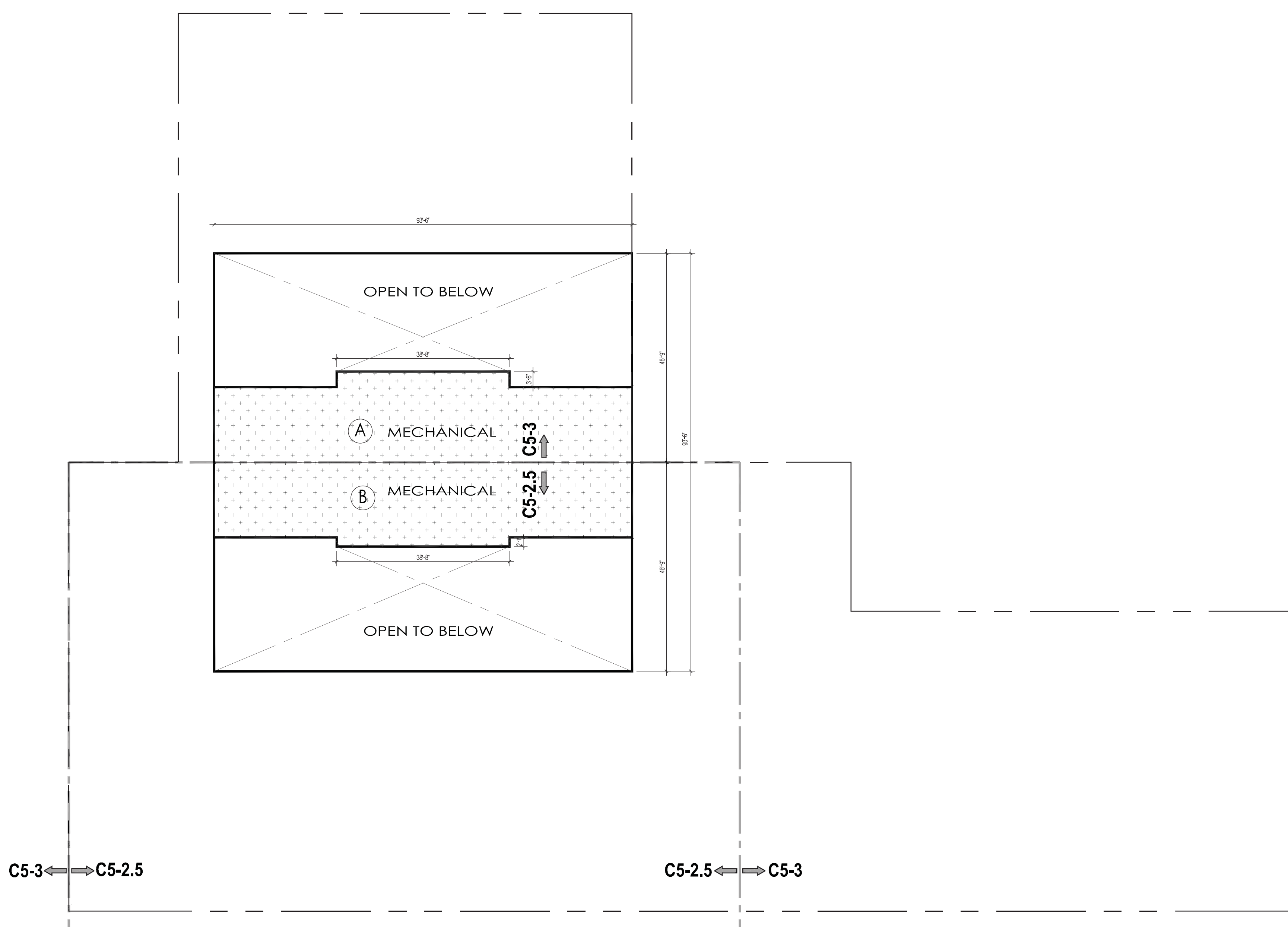
83rd FLOOR - MECHANICAL

C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)	MECHANICAL	4,371	(B)	MECHANICAL	4,371
TOTAL		4,371	TOTAL		4,371
GFA TOTAL			8,742 SF		

DEDUCTIONS									
NO.	SIZE (FT.)	COMMERCIAL			REMARKS	RESIDENTIAL			USE
		AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/FLOOR (SF)		AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/FLOOR (SF)	
1									
2									
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14a									
14b									
TOTAL									

83rd FLOOR

1/16" = 1'-0"



84th FLOOR - MECHANICAL

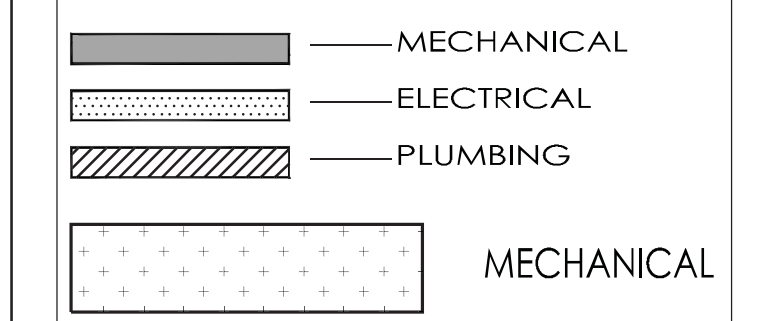
C5-3			C5-2.5		
AREA	SIZE (FT.)	SF	AREA	SIZE (FT.)	SF
(A)		633	(B)		633
TOTAL		633	TOTAL		633
GFA TOTAL			1,266 SF		

DEDUCTIONS									
NO.	SIZE (FT.)	COMMERCIAL			REMARKS	RESIDENTIAL			USE
		AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/FLOOR (SF)		AREA/SPACE (SF)	AMOUNT/FLOOR	AREA/FLOOR (SF)	
1									
2									
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14a									
14b									
TOTAL									

84th FLOOR

1/16" = 1'-0"

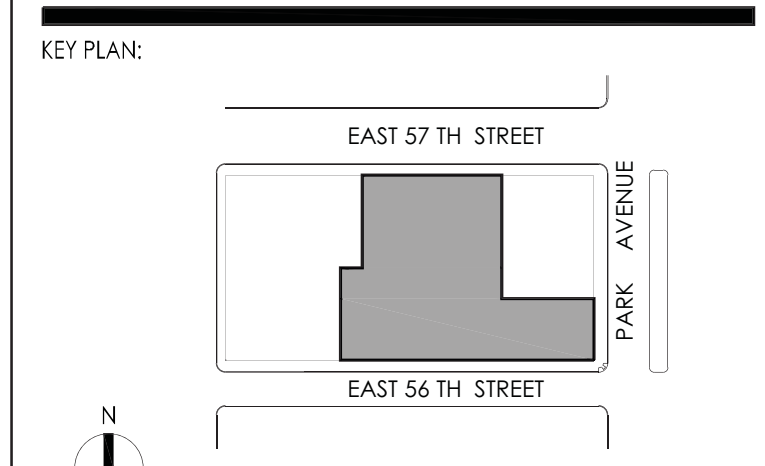
LEGENDS



06.01.2012 PAA
03.30.2012 DESIGN DEVELOPMENT SUBMISSION
03.21.2012 RESPONSE TO DOB COMMENTS
10.28.2011 DOB SUBMITTAL

No. Date: Revision:

SCALE:



DRAWING TITLE:
ZONING CALCULATIONS,
FLOOR AREAS & DEDUCTIONS

Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:56 AM
NYC Development Hub

SEAL & SIGNATURE: [Signature]
DATE: 2010-40
DRAWN BY:
CHECKED BY:
DRAWING NO.: Z-022.01
CADD FILE NO.:
OF 149

440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 767 5TH AVENUE
 NEW YORK, NY 10019 TEL: 212.554.9825

EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.5500

STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 45TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 55 5TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

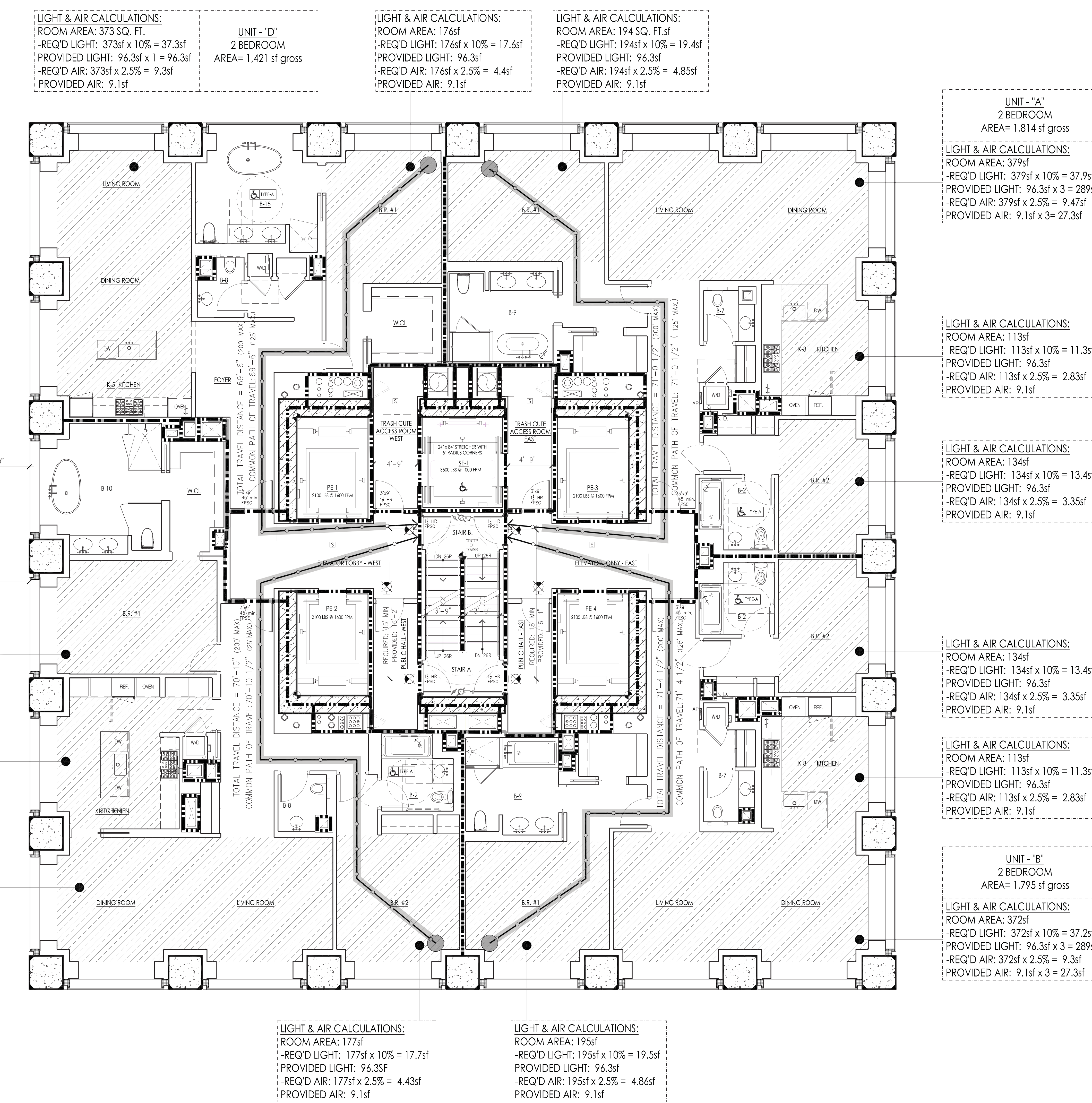
M E P ENGINEER:
 WSP FLACK + KURTZ
 313 SPENGLER AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4551

ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 330 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT: TEL: 212.349.9304

GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 14 FRANK PLAZA
 NEW YORK, NY 0122 TEL: 917.339.9310



UNIT - "D"
 2 BEDROOM
 AREA = 1,421 sf gross

UNIT - "A"
 2 BEDROOM
 AREA = 1,814 sf gross

UNIT - "C"
 2 BEDROOM
 AREA = 2,102 sf gross

UNIT - "B"
 2 BEDROOM
 AREA = 1,795 sf gross

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 373 SQ. FT.
 -REQ'D LIGHT: 373sf x 10% = 37.3sf
 PROVIDED LIGHT: 96.3sf x 1 = 96.3sf
 -REQ'D AIR: 373sf x 2.5% = 9.3sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 176sf
 -REQ'D LIGHT: 176sf x 10% = 17.6sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 176sf x 2.5% = 4.4sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 194 SQ. FT.SF
 -REQ'D LIGHT: 194sf x 10% = 19.4sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 194sf x 2.5% = 4.85sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 379sf
 -REQ'D LIGHT: 379sf x 10% = 37.9sf
 PROVIDED LIGHT: 96.3sf x 3 = 289sf
 -REQ'D AIR: 379sf x 2.5% = 9.47sf
 PROVIDED AIR: 9.1sf x 3 = 27.3sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 113sf
 -REQ'D LIGHT: 113sf x 10% = 11.3sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 113sf x 2.5% = 3.35sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 134sf
 -REQ'D LIGHT: 134sf x 10% = 13.4sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 134sf x 2.5% = 3.35sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 134sf
 -REQ'D LIGHT: 134sf x 10% = 13.4sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 134sf x 2.5% = 3.35sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 113sf
 -REQ'D LIGHT: 113sf x 10% = 11.3sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 113sf x 2.5% = 2.83sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 372sf
 -REQ'D LIGHT: 372sf x 10% = 37.2sf
 PROVIDED LIGHT: 96.3sf x 3 = 289sf
 -REQ'D AIR: 372sf x 2.5% = 9.3sf
 PROVIDED AIR: 9.1sf x 3 = 27.3sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 177sf
 -REQ'D LIGHT: 177sf x 10% = 17.7sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 177sf x 2.5% = 4.43sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 195sf
 -REQ'D LIGHT: 195sf x 10% = 19.5sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 195sf x 2.5% = 4.86sf
 PROVIDED AIR: 9.1sf

ADDITIONAL NOTES:

- ALL R2 SPACES ARE PROVIDED WITH DUCTED OUTSIDE AIR. THEREFORE, THE REQUIRED 5% OF THE HABITABLE FLOOR AREA REQUIREMENT IS REDUCED TO 2.5% PER SECTION 1003.4.1.2, EXCEPTION #1.
- ON ALL RESIDENTIAL FLOORS THE STAIR DOORS WILL BE LOCKED FROM THE STAIR SIDE IN COMPLIANCE WITH SECTION 1008.1.8.7 & 403.12. THESE DOORS WILL BE EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM.
- THE SERVICE ELEVATOR SE-1 WILL HAVE A ZERO CLEARANCE GATE WHERE SHOWN ON CERTAIN RESIDENTIAL FLOORS. THE SPACE BETWEEN THE HOISTWAY DOORS AND THE GATE WILL BE LESS THAN 6".
- PASSENGER ELEVATORS P-1 THROUGH P-4 AND SE-1 WILL BE SIZED FOR A GURNEY AND WILL BE HANDICAP ACCESSIBLE. ALL OF THESE ELEVATORS WILL COMPLY WITH THE MINIMUM OF TWO HANDICAP ACCESSIBLE ENTS.

LEGEND

- HABITABLE FLOOR AREA
- COMMON PATH TRAVEL DISTANCE
- GENERAL TRAVEL DISTANCE
- ONE HOUR BEARING WALLS (45-MINUTE SELF-CLOSING DOORS)
- TWO HOUR WALLS (90-MINUTE SELF-CLOSING DOORS)
- THREE HOUR WALLS (3HR SELF-CLOSING DOORS)
- FIRE EXTINGUISHER
- EXIT SIGNS (ARROW INDICATE DIRECTION)
- SMOKE/ CARBON MONOXIDE DETECTOR

RESIDENTIAL GENERAL NOTES:

- BUILDING IS FULLY SPRINKLERED PER NFPA 13
- CORRIDOR PARTITIONS ARE REQUIRED TO BE ONE HOUR RATED, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE SFC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.

GENERAL BUILDING DATA

ADDRESS: 440 PARK AVENUE
 NEW YORK, NY 10022

BLOCK: 1292
 ZONING DISTRICT: CS-37 CS-2.5 - M2
 ZONING MAP: 200
 LOT: 33.46, 145.45, 44.843
 LOT AREA: 39,391.70 SF

SQUARE FOOTAGE:
 SEE SHEET 2-002 FOR COMPLETE BREAK DOWN OF FLOOR AREA PER FLOOR

CODE DATA

BUILDING LIMITATIONS

CATEGORY	CODE SECTION	CRITERIA
1. APPLICABLE BUILDING CODES	2008 BUILDING CODE OF THE CITY OF NEW YORK	FEDERAL FAIR HOUSING ACT
	2010 INTERNATIONAL BUILDING CODES	AMERICAN NATIONAL STANDARDS INSTITUTE 7 AND 117.1-2003
HANDICAP LAWS AND GUIDELINES	2010 INTERNATIONAL BUILDING CODES	AMERICANS WITH DISABILITIES ACT - PUBLIC SPACES (LATEST AMENDMENTS)
	2010 INTERNATIONAL BUILDING CODES	AMERICANS WITH DISABILITIES ACT - PUBLIC SPACES (LATEST AMENDMENTS)
2. BUILDING OCCUPANCY	308.2	R-2 APARTMENTS A-2 ASSEMBLY/RESTAURANT A-3 POOL & GYMNASIUM M RETAIL S-2 STORAGE, MECHANICAL
3. CONSTRUCTION CLASSIFICATION	TABLE 601	NONCOMBUSTIBLE I-B
4. HEIGHT LIMITATIONS	TABLE 503	NO LIMIT HEIGHT OR AREA - B
5. FIRE PROTECTION	TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING TYPE I-B
6. BEARING WALLS	TABLE 602	BEARING WALLS - EXTERIOR & INTERIOR
7. NON-BEARING WALLS & PARTITIONS	TABLE 602	NON-BEARING WALLS & PARTITIONS - EXTERIOR
8. FLOOR CONSTRUCTION	TABLE 602	FLOOR CONSTRUCTION - SUPPORTING BEAMS & JOINTS
9. ROOF CONSTRUCTION	TABLE 602	ROOF CONSTRUCTION - SUPPORTING BEAMS & JOINTS

TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY GROUP - I
< 5	ALL	1
>= 5 TO < 10	IA	1
>= 10 TO < 30	OTHERS	1
>= 10 TO < 30	IA, IB	1
>= 10 TO < 30	IB, VB	0
>= 10 TO < 30	OTHERS	1
>= 30	ALL	0

TABLE 704.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	0 ≤ TO < 3	3 ≤ TO < 5	5 ≤ TO < 10	10 ≤ TO < 15	15 ≤ TO < 20	20 ≤ TO < 25	25 ≤ TO < 30	30 ≤
UNPROTECTED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	70%	NO LIMIT
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

TABLE 803.5 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

GROUP	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES
A-2	B	B	C	A	A	B
R-2	B	C	C	A	A	B

TABLE 1005.1 EGRESS WIDTH

OCCUPANCY CLASS	TRAVEL DISTANCE	CAPACITY			COMMON PATH OF TRAVEL (1011.5.3)
		DOORS	STAIRS	RAMP	
R-2	200	0.2	0.3	0.2	125"
A-2	150-P/250-S	0.2	0.3	0.2	44' 20"
M	200	0.2	0.3	0.2	30' (50)"
S-2	250	0.2	0.3	0.2	44' 20"
A	250-S	0.2	0.3	0.2	44' 20"
B	300	0.2	0.3	0.2	44' 20"

OCCUPANCIES

USE	CLASS	AREA S.F.	FLOOR AREA / OCCUPANT	OCCUPANT LOAD
WATER SERVICE/PUMP ROOM	*	300		
COMPACTOR ROOM #1	*	300		
CART STORAGE	*	300	NON-SIMULT	
BOOKER ROOM	*	300		
LAUNDRY ROOM	*	100		
MECHANICAL ROOM	*	300		
COMPACTOR ROOM #2	*	300		
TELECOM ROOM	*	300		
CONDENSING WATER SERVICE RM	*	300		
GAS METER ROOM	*	300		
ELECTRICAL SWITCHGEAR ROOM	*	300		
RESIDENTIAL STORAGE	S-2	300		
BOILER ROOM	*	300	NON-SIMULT	
FUEL OIL TANK ROOM	*	300	NON-SIMULT	
EMPLOYEE TOILETS & LOCKERS	**	50	NON-SIMULT	
EMPLOYEE FACILITIES	**	100		
SUPPER'S OFFICE/PARKING OFFICE	**	100		
RETAIL (GRADE & BASEMENT)	M	60	NON-SIMULT	
PARKING GARAGE	A-2	200	NON-SIMULT	
RESTAURANT	A-2	15		
APARTMENT	R-2	200		

TABLE 1004.1.2

9. LOCATION OF EXITS: 1014.2.1 DOOR OPENINGS TO VERTICAL EXITS SHALL BE SPACED NOT MORE THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED. IN R2 WITH SESSOR STAIRS, DOORS CAN BE SPACED A MINIMUM OF 15'-0" APART.

10. EXIT DOORS: 1008.11.1 MAX WIDTH: 48" (PER LEAF) MIN. WIDTH: 32" (SINGLE DOOR)

11. EXIT ACCESS: 1013.6 EXIT ACCESS IN R-2 OCCUPANCIES IN BUILDINGS EXCEEDING THREE STORIES OR MORE IN HEIGHT OR OCCUPIED BY MORE THAN TWO DWELLING UNITS ON ANY STORY, A DOOR FROM A DWELLING UNIT SHALL OPEN INTO AN INTERVENING PUBLIC HALL. SUCH PUBLIC HALL SHALL BE CONSTRUCTED AS A PUBLIC CORRIDOR IN ACCORDANCE WITH SECTION 1016. WHERE TWO OR MORE EXITS ARE REQUIRED:

12. STAIRWAY DOOR: 403.12.1.8.7 A DOOR LOCKED FROM THE STAIR SIDE MAY BE PERMITTED PROVIDED THAT SUCH DOOR IS EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM FOR OPENING IN THE EVENT OF THE ACTIVATION OF ANY AUTOMATIC FIRE DETECTION SYSTEM, OR WHEN ANY ELEVATOR RECALL IS ACTIVATED, OR WHEN ANY SIGNAL IS RECEIVED FROM THE FIRE COMMAND CENTER. SUCH DOOR SHALL BE OPENED AS OPENABLE FROM THE STAIR SIDE.

13. STAIRWAY WIDTH: 1205.2.1 NOT LESS THAN 44" WIDE

14. STAIR PRESSURE/POST FIRE SMOKE PURGE: 912.1 EXCEPTION #2 ALL EGRESS STAIRS ARE PRESSURIZED POST FIRE SMOKE PURGE NOT REQUIRED IN R2 BECAUSE OF PRESSURIZED STAIRS ARE SMOKE PROOF ENCLOSURES.

15. ACCESSIBLE MEANS OF EGRESS: 1007.2.1 1109.6 (1) ACCESSIBLE MEANS OF EGRESS ARE REQUIRED BOTH ARE MA AN ELEVATOR AS PER 1007.2.1

16. NATURAL LIGHT: 1203.4.1.2 10% OF FLOOR AREA OF THE ROOM EVERY OPENING PROVIDING NATURAL LIGHT MUST BE A MINIMUM OF 12 SF OF GLAZED AREA.

17. NATURAL VENTILATION HABITABLE SPACES: 1009.1 5% OF FLOOR AREA OF THE HABITABLE SPACE

EGRESS CALCULATIONS - RESIDENTIAL FLOOR

APARTMENTS

OCCUPANCY: R-2	CLASS	AREA S.F.	FLOOR AREA / OCCUPANT	OCCUPANT LOAD
APT UNIT 'A'	R-2	1,814	200 GROSS	9
APT UNIT 'B'	R-2	1,795	200 GROSS	9
APT UNIT 'C'	R-2	2,102	200 GROSS	11
APT UNIT 'D'	R-2	1,421	200 GROSS	7
TOTAL				36

TABLE 1005.1 EGRESS WIDTH PER OCCUPANT SERVED

STAIRS REQUIRED	STAIRS REQUIRED
APT A & B STAIRS = 0.37 OCCUPANT OCCUPANTS: 18 0.37 x 18 = 6.66" STAIRS PROVIDED: 2 x 36" = 72"	APT C & D STAIRS = 0.37 OCCUPANT OCCUPANTS: 18 0.37 x 18 = 6.66" STAIRS PROVIDED: 2 x 36" = 72"

1. STAIRS REQUIRED: APT A & B STAIRS = 0.37 OCCUPANT OCCUPANTS: 18 0.37 x 18 = 6.66" STAIRS PROVIDED: 2 x 36" = 72"

2. DOORS REQUIRED: APT A & B 18 x 0.37 = 6.66" DOORS PROVIDED: 2 x 36" = 72"

3. CORRIDORS REQUIRED: PER 1016.2, MIN. REQUIRED: 44" PROVIDED: 57"

KEY PLAN: Shows the location of the residential floor within the building footprint, with East 57th Street and East 56th Street indicated.

DRAWING TITLE: LIFE SAFETY PLAN
 4 RESIDENTIAL UNITS
 FLRS: 18.20,22,24,28

APPROVED: Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:56 AM

DAMIAN TITUS Buildings

NYC Development Hub

SEAL & SIGNATURE: Damian Titus, Buildings, Under Directive 2 of 1975, AMENDED APPLICATION, Date/Time: Jun 27, 2012 - 11:56 AM

DATE: 2010-00
DRAWN BY: [Signature]
CHECKED BY: CK
DRAWING NO.: A-043.01

PROJECT:
440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
767 5TH AVENUE
NEW YORK, NY 10019 TEL.: 212.554.5825

EXECUTIVE ARCHITECT:
SLCE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5500

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 45TH STREET
NEW YORK, NY 10017 TEL.: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 5TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

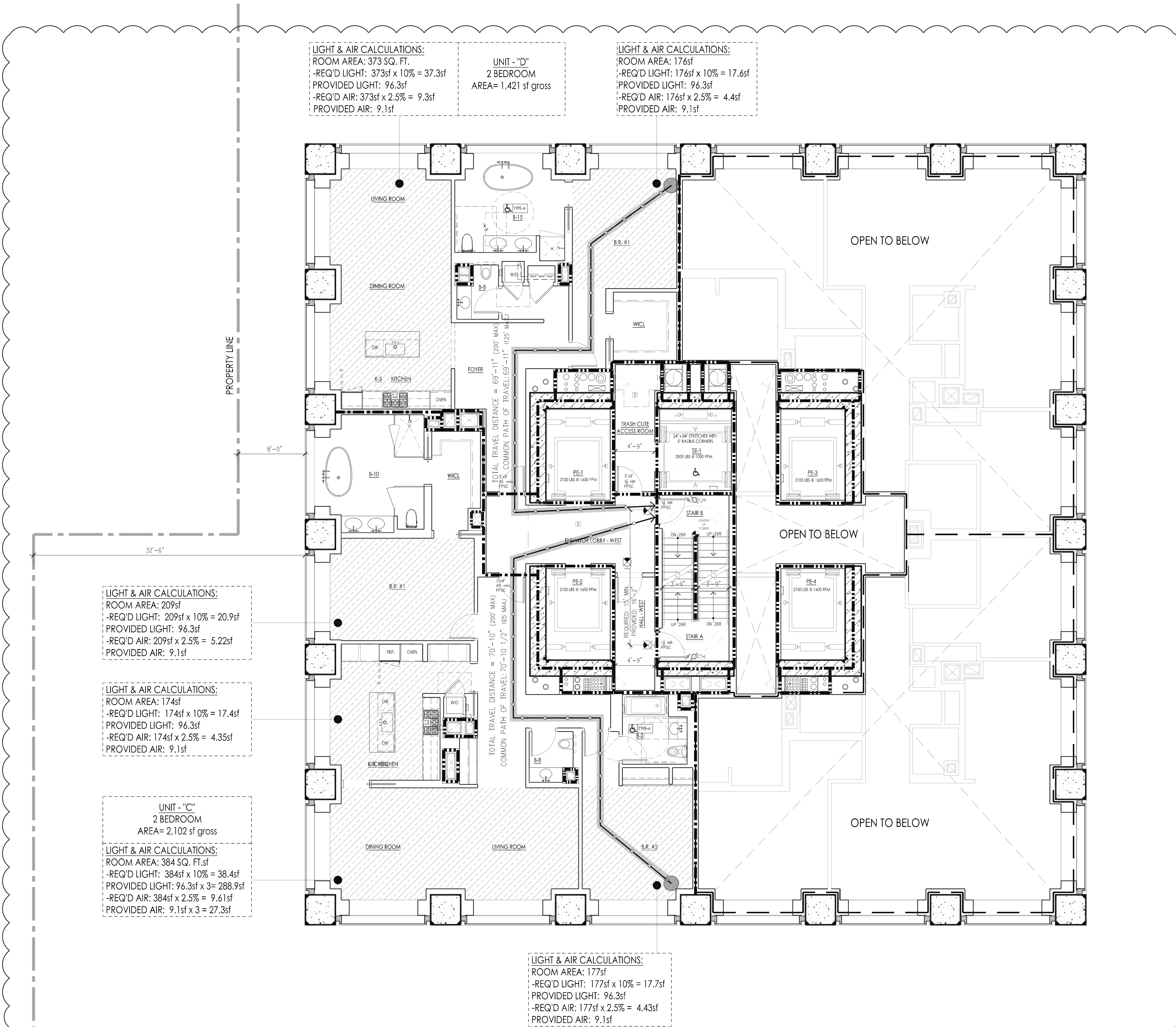
M E P ENGINEER:
WSP FLACK + KURTZ
3123 SPENGLER AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4551

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
330 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILMAN CONSULTING ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL.: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
14 FRANK PLAZA
NEW YORK, NY 0122 TEL.: 917.339.9310



LIGHT & AIR CALCULATIONS:
ROOM AREA: 373 SQ. FT.
-REQ'D LIGHT: 373sf x 10% = 37.3sf
-PROVIDED LIGHT: 96.3sf
-REQ'D AIR: 373sf x 2.5% = 9.3sf
PROVIDED AIR: 9.1sf

UNIT - "D"
2 BEDROOM
AREA = 1,421 sf gross

LIGHT & AIR CALCULATIONS:
ROOM AREA: 176sf
-REQ'D LIGHT: 176sf x 10% = 17.6sf
-PROVIDED LIGHT: 96.3sf
-REQ'D AIR: 176sf x 2.5% = 4.4sf
PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
ROOM AREA: 209sf
-REQ'D LIGHT: 209sf x 10% = 20.9sf
-PROVIDED LIGHT: 96.3sf
-REQ'D AIR: 209sf x 2.5% = 5.22sf
PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
ROOM AREA: 174sf
-REQ'D LIGHT: 174sf x 10% = 17.4sf
-PROVIDED LIGHT: 96.3sf
-REQ'D AIR: 174sf x 2.5% = 4.35sf
PROVIDED AIR: 9.1sf

UNIT - "C"
2 BEDROOM
AREA = 2,102 sf gross

LIGHT & AIR CALCULATIONS:
ROOM AREA: 384sf
-REQ'D LIGHT: 384sf x 10% = 38.4sf
-PROVIDED LIGHT: 96.3sf x 3 = 288.9sf
-REQ'D AIR: 384sf x 2.5% = 9.61sf
PROVIDED AIR: 9.1sf x 3 = 27.3sf

LIGHT & AIR CALCULATIONS:
ROOM AREA: 177sf
-REQ'D LIGHT: 177sf x 10% = 17.7sf
-PROVIDED LIGHT: 96.3sf
-REQ'D AIR: 177sf x 2.5% = 4.43sf
PROVIDED AIR: 9.1sf

ADDITIONAL NOTES:

- ALL R2 SPACES ARE PROVIDED WITH DUCTED OUTSIDE AIR. THEREFORE, THE REQUIRED 5% OF THE HABITABLE FLOOR AREA REQUIREMENT IS REDUCED TO 2.5% PER SECTION 1203.4.1.2, EXCEPTION #1.
- ON ALL RESIDENTIAL FLOORS THE STAIR DOORS WILL BE LOCKED FROM THE STAIR SIDE IN COMPLIANCE WITH SECTION 1008.1.8.7 & 403.12. THESE DOORS WILL BE EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM.
- THE SERVICE ELEVATOR SE-1 WILL HAVE A ZERO CLEARANCE GATE WHERE SHOWN ON CERTAIN RESIDENTIAL FLOORS. THE SPACE BETWEEN THE HOISTWAY DOORS AND THE GATE WILL BE LESS THAN 6".
- PASSENGER ELEVATORS P-1 THROUGH P-4 AND SE-1 WILL BE SIZED FOR A GURNEY AND WILL BE HANDICAP ACCESSIBLE. ALL OF THESE ELEVATORS WILL COMPLY WITH THE MINIMUM OF TWO HANDICAP ACCESSIBLE ENTS.

LEGEND

- HABITABLE FLOOR AREA
- COMMON PATH TRAVEL DISTANCE
- GENERAL TRAVEL DISTANCE
- ONE HOUR BEARING WALLS (45-MINUTE SELF-CLOSING DOORS)
- TWO HOUR WALLS (90-MINUTE SELF-CLOSING DOORS)
- THREE HOUR WALLS (3HR SELF-CLOSING DOORS)
- FIRE EXTINGUISHER
- EXIT SIGNS (ARROW INDICATE DIRECTION)
- SMOKE/ CARBON MONOXIDE DETECTOR

RESIDENTIAL GENERAL NOTES:

- BUILDING IS FULLY SPRINKLERED PER NFPA 13
- CORRIDOR PARTITIONS ARE REQUIRED TO BE ONE HOUR RATED, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE SFC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.

GENERAL BUILDING DATA

ADDRESS: 440 PARK AVENUE
NEW YORK, NY 10022

BLOCK: 1292

ZONING DISTRICT: C5-37 (C5-2.5 - MD)

ZONING MAP: 20

LOT: 33.46, 145.45, 44.643

LOT AREA: 39,391.70 SF

SQUARE FOOTAGE:

SEE SHEET 2-002 FOR COMPLETE BREAK DOWN OF FLOOR AREA PER FLOOR

CODE DATA

BUILDING LIMITATIONS

CATEGORY	CODE SECTION	CRITERIA
1. APPLICABLE BUILDING CODES	2008 BUILDING CODE OF THE CITY OF NEW YORK	FEDERAL FAIR HOUSING ACT
		HANDICAP ACCESSIBILITY, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) 117.1-2003, AMERICANS WITH DISABILITIES ACT - PUBLIC SPACES (LATEST AMENDMENTS)
2. BUILDING OCCUPANCY:	308.2	R-2 APARTMENTS
		A-2 ASSEMBLY/RESTAURANT
3. CONSTRUCTION CLASSIFICATION	TABLE 601	NONCOMBUSTIBLE I-B
		NO LIMIT HEIGHT OR AREA - B
4. HEIGHT LIMITATIONS	TABLE 503	NO LIMIT HEIGHT OR AREA - B
5. FIRE PROTECTION	TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING TYPE I-B
		ELEMENTS (HOURS)
6. BEARING WALLS - EXTERIOR & INTERIOR	TABLE 602	BEARING WALLS & PARTITIONS - EXTERIOR
		NON-BEARING WALLS & PARTITIONS - INTERIOR
7. FLOOR CONSTRUCTION - SUPPORTING BEAMS & JOINTS	TABLE 602	FLOOR CONSTRUCTION - SUPPORTING BEAMS & JOINTS
		ROOF CONSTRUCTION - SUPPORTING BEAMS & JOINTS

TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY GROUP - I
< 5	ALL	1
>= 5 TO < 10	IA	1
>= 5 TO < 10	OTHERS	1
>= 10 TO < 30	IA, IB	1
>= 10 TO < 30	IB, VB	0
>= 10 TO < 30	OTHERS	1
>= 30	ALL	0

TABLE 704.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	0 ≤ to < 3	3 ≤ to < 5	5 ≤ to < 10	10 ≤ to < 15	15 ≤ to < 20	20 ≤ to < 25	25 ≤ to < 30	30 ≤
UNPROTECTED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	70%	NO LIMIT
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

TABLE 803.5 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

GROUP	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES
A-2	B	B	C	A	A	B
R-2	B	C	C	A	B	B

TABLE 1005.1 EGRESS WIDTH

OCCUPANCY CLASS	TRAVEL DISTANCE	CAPACITY			MIN. WIDTH	MAX. DEAD END (1016.3)	COMMON PATH OF TRAVEL (1011.3)
		DOORS	STAIRS	RAMP			
R-2	200	0.2	0.3	0.2	-	40' (80' WITH 2HR CORR)	125"
A-2	150-P/250-S	0.2	0.3	0.2	44	20'	30' (50') SC
M	200	0.2	0.3	0.2	44	20'	125"
S-2	250	0.2	0.3	0.2	44	20'	100"
A	250-S	0.2	0.3	0.2	44	20'	30'
B	300	0.2	0.3	0.2	44	20'	75"

OCCUPANCIES

USE	CLASS	AREA S.F.	FLR AREA / OCCUPANT	OCCUPANT LOAD
WATER SERVICE/PUMP ROOM	*	300		
COMPACTOR ROOM #1	*	300		
CART STORAGE	*	300		NON-SIMULT
BOKER ROOM	*	300		
LAUNDRY ROOM	*	100		
MECHANICAL ROOM	*	300		
COMPACTOR ROOM #2	*	300		
TELECOM ROOM	*	300		
CONDENSING WATER SERVICE RM	*	300		
GAS METER ROOM	*	300		
ELECTRICAL SWITCHGEAR ROOM	*	300		
RESIDENTIAL STORAGE	S-2	300		NON-SIMULT
LET'S ROOM	*	300		NON-SIMULT
FUEL OIL TANK ROOM	*	300		NON-SIMULT
EMPLOYEE TOILETS & LOCKERS	**	50		NON-SIMULT
EMPLOYEE FACILITIES	**	100		NON-SIMULT
SUPER'S OFFICE / PARKING OFFICE	**	100		NON-SIMULT
RETAIL (GRADE & BASEMENT)	M	60		NON-SIMULT
PARKING GARAGE	A	200		NON-SIMULT
RESTAURANT	A-2	15		
APARTMENT	R-2	200		

TABLE 1004.1.2

TABLE 1005.1

TABLE 508.2

TABLE 508.3

EGRESS CALCULATIONS - RESIDENTIAL FLOOR

APARTMENTS

OCCUPANCY: R-2	CLASS	AREA S.F.	FLR AREA / OCCUPANT	OCCUPANT LOAD
APT UNIT 'C'	R-2	2,102	200 GROSS	9
APT UNIT 'D'	R-2	1,421	200 GROSS	7
TOTAL				16

TABLE 1005.1

TABLE 1004.1.2

TABLE 508.2

TABLE 508.3

KEY PLAN:

DAMIAN TITUS Buildings

APPROVED Under Directive 2 of 1975 AMENDED APPLICATION

Date/Time: Jun 27, 2012 - 11:56 AM

NYC Development Hub

LIFE SAFETY PLAN

2 RESIDENTIAL UNITS

FLRS: 19,21,23,25,27

DATE: 2010-00

DRAWN BY: AR

CHECKED BY: CK

DRAWING NO: A-044.01

CAD FILE NO: 01.01.10

PROJECT:
440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 767 8TH AVENUE
 NEW YORK, NY 10019 TEL: 212.554.5825

EXECUTIVE ARCHITECT:
 SLCE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 30 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.5500

STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 45TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

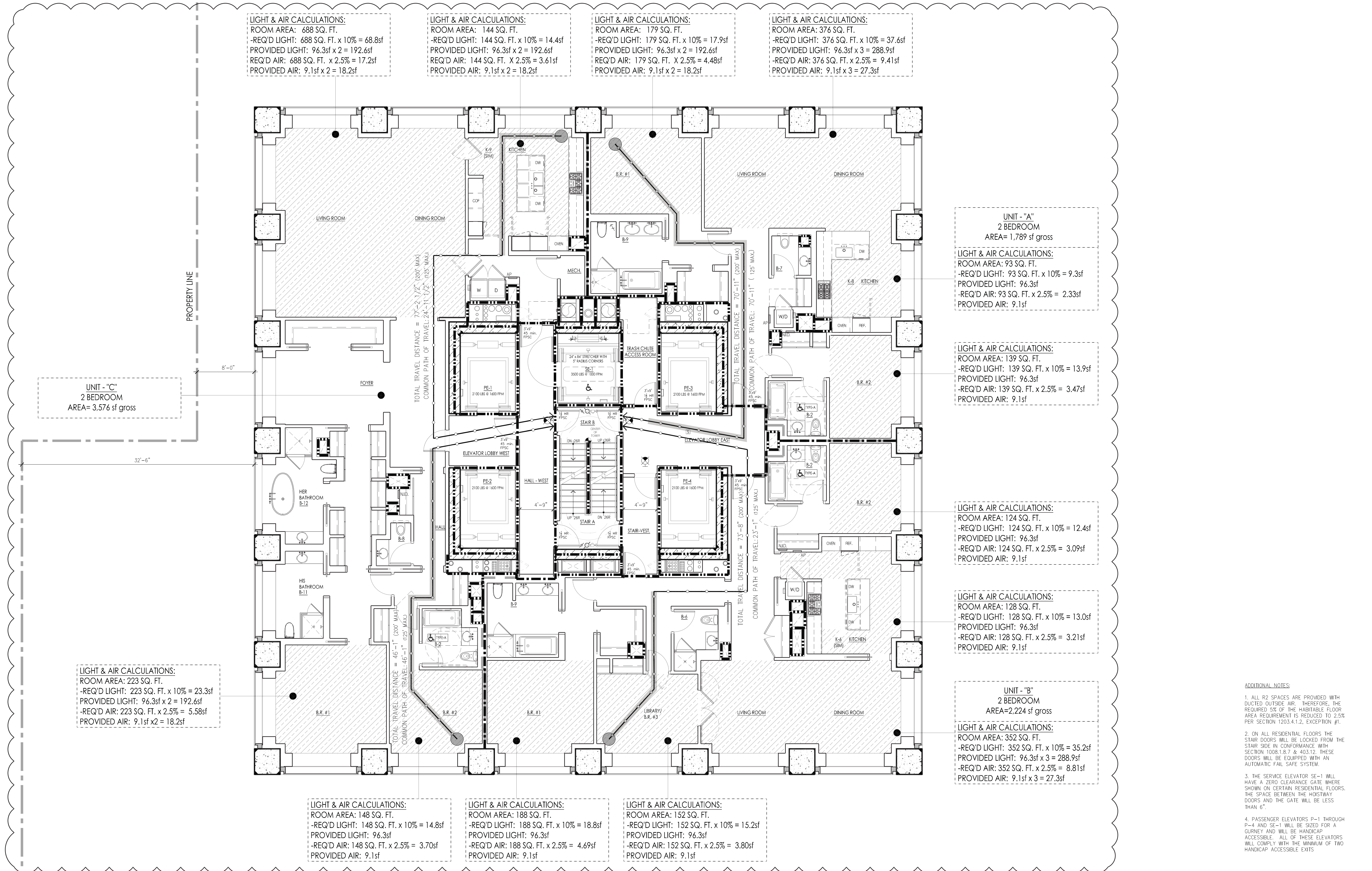
M E P ENGINEER:
 WSP FLACK + KURTZ
 313 SPENGLER AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4551

ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 330 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT: TEL: 212.349.9304

GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 14 FRANK PLAZA
 NEW YORK, NY 0122 TEL: 917.339.9310



ADDITIONAL NOTES

- ALL R2 SPACES ARE PROVIDED WITH DUCTED OUTSIDE AIR. THEREFORE, THE REQUIRED 5% OF THE HABITABLE FLOOR AREA REQUIREMENT IS REDUCED TO 2.5% PER SECTION 1003.4.1.2, EXCEPTION #1.
- ON ALL RESIDENTIAL FLOORS THE STAIR DOORS WILL BE LOCKED FROM THE STAIR SIDE IN CONFORMANCE WITH SECTION 1008.1.8.7 & 403.12. THESE DOORS WILL BE EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM.
- THE SERVICE ELEVATOR SE-1 WILL HAVE A ZERO CLEARANCE GATE WHERE SHOWN ON CERTAIN RESIDENTIAL FLOORS. THE SPACE BETWEEN THE HOISTWAY DOORS AND THE GATE WILL BE LESS THAN 6".
- PASSENGER ELEVATORS P-1 THROUGH P-4 AND SE-1 WILL BE SIZED FOR A GURNEY AND WILL BE HANDICAP ACCESSIBLE. ALL OF THESE ELEVATORS WILL COMPLY WITH THE MINIMUM OF TWO HANDICAP ACCESSIBLE ENTS.

LEGEND

- HABITABLE FLOOR AREA
- COMMON PATH TRAVEL DISTANCE
- GENERAL TRAVEL DISTANCE
- ONE HOUR BEARING WALLS (45-MINUTE SELF-CLOSING DOORS)
- TWO HOUR WALLS (90-MINUTE SELF-CLOSING DOORS)
- THREE HOUR WALLS (3HR SELF-CLOSING DOORS)
- FIRE EXTINGUISHER
- EXIT SIGNS (ARROW INDICATE DIRECTION)
- SMOKE/ CARBON MONOXIDE DETECTOR

RESIDENTIAL GENERAL NOTES

- BUILDING IS FULLY SPRINKLERED PER NFPA 13
- BUILDING PARTITIONS ARE REQUIRED TO BE ONE HOUR RATED, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE SFC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.

GENERAL BUILDING DATA

ADDRESS: 440 PARK AVENUE
 NEW YORK, NY 10022

BLOCK: 1292
 ZONING DISTRICT: CE-37 (S-2-S - MID)
 ZONING MAP: 20
 LOT: 33.46, 145.45, 44.843
 LOT AREA: 39,391.70 SF

SQUARE FOOTAGE:
 SEE SHEET 2-002 FOR COMPLETE BREAK DOWN OF FLOOR AREA PER FLOOR

CODE DATA

CATEGORY	CODE SECTION	CRITERIA
1. APPLICABLE BUILDING CODES	2008 BUILDING CODE OF THE CITY OF NEW YORK	FEDERAL FAIR HOUSING ACT
	HANDICAP LAWS AND GUIDELINES	AMERICAN NATIONAL STANDARDS INSTITUTE 7 AND 117.1-2003 AMERICANS WITH DISABILITIES ACT - PUBLIC SPACES (LATEST AMENDMENTS)
2. BUILDING OCCUPANCY	308.2	R-2 APARTMENTS A-2 ASSEMBLY/RESTAURANT A-3 POOL & EXERCISE S-2 STORAGE, MECHANICAL
3. CONSTRUCTION CLASSIFICATION	TABLE 601	NONCOMBUSTIBLE I-B
4. HEIGHT LIMITATIONS	TABLE 503	NO LIMIT HEIGHT OR AREA - B
5. FIRE PROTECTION	TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING TYPE I-B
6. SPRINKLERS	TABLE 803.5	FULLY SPRINKLERED FOR ALL FLOORS
7. INTERIOR FINISH CLASS	TABLE 803.5	INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
8. EGRESS REQUIREMENTS (FULLY SPRINKLERED)	TABLE 1005.1	EGRESS WIDTH PER OCCUPANT SERVED

EGRESS CALCULATIONS - RESIDENTIAL FLOOR

APARTMENTS

APARTMENT	CLASS	AREA S.F.	FLOOR AREA/OCCUPANT	OCCUPANT LOAD
APT UNIT 'A'	R-2	1,789	200 GROSS	9
APT UNIT 'B'	R-2	2,224	200 GROSS	11
APT UNIT 'C'	R-2	3,576	200 GROSS	18
TOTAL				38

TABLE 1004.1.2

USE	CLASS	AREA S.F.	FLOOR AREA/OCCUPANT	OCCUPANT LOAD
WATER SERVICE/PUMP ROOM	*	300		
COMPACTOR ROOM #1	*	300		
CART STORAGE	*	300	NON-SIMULT	
BOOKER ROOM	*	300		
LAUNDRY ROOM	*	100		
MECHANICAL ROOM	*	300		
COMPACTOR ROOM #2	*	300		
TELECOM ROOM	*	300		
CONDENSING WATER SERVICE RM	*	300		
GAS METER ROOM	*	300		
ELECTRICAL SWITCHGEAR ROOM	*	300		
RESIDENTIAL STORAGE	S-2	300	NON-SIMULT	
LETS ROOM	*	300	NON-SIMULT	
FUEL OIL TANK ROOM	*	300	NON-SIMULT	
EMPLOYEE TOILETS & LOCKERS	**	50	NON-SIMULT	
EMPLOYEE FACILITIES	**	100	NON-SIMULT	
SUPERVISOR'S OFFICE/PARKING OFFICE	**	100	NON-SIMULT	
RETAIL (GRADE & BASEMENT)	M	60	NON-SIMULT	
PARKING GARAGE	A-2	200	NON-SIMULT	
RESTAURANT	A-2	15		
APARTMENT	R-2	200		

TABLE 1004.1.2

APARTMENT

* INCIDENTAL USE AREAS FOR PER TABLE 508.2
 ** ACCESSORY PER TABLE 508.1

EGRESS CALCULATIONS - RESIDENTIAL FLOOR

APARTMENTS

APARTMENT	CLASS	AREA S.F.	FLOOR AREA/OCCUPANT	OCCUPANT LOAD
APT UNIT 'A'	R-2	1,789	200 GROSS	9
APT UNIT 'B'	R-2	2,224	200 GROSS	11
APT UNIT 'C'	R-2	3,576	200 GROSS	18
TOTAL				38

TABLE 1005.1

EGRESS WIDTH PER OCCUPANT SERVED	STAIRS REQUIRED	STAIRS = 0.37/OCCUPANT	OCCUPANTS 18	STAIRS PROVIDED
2 x 36" = 72"	APT A & B	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"
2 x 36" = 72"	APT C	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"

TABLE 1005.1

EGRESS WIDTH PER OCCUPANT SERVED	STAIRS REQUIRED	STAIRS = 0.37/OCCUPANT	OCCUPANTS 18	STAIRS PROVIDED
2 x 36" = 72"	APT A & B	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"
2 x 36" = 72"	APT C	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"

TABLE 1005.1

EGRESS WIDTH PER OCCUPANT SERVED	STAIRS REQUIRED	STAIRS = 0.37/OCCUPANT	OCCUPANTS 18	STAIRS PROVIDED
2 x 36" = 72"	APT A & B	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"
2 x 36" = 72"	APT C	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"

TABLE 1005.1

EGRESS WIDTH PER OCCUPANT SERVED	STAIRS REQUIRED	STAIRS = 0.37/OCCUPANT	OCCUPANTS 18	STAIRS PROVIDED
2 x 36" = 72"	APT A & B	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"
2 x 36" = 72"	APT C	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"

TABLE 1005.1

EGRESS WIDTH PER OCCUPANT SERVED	STAIRS REQUIRED	STAIRS = 0.37/OCCUPANT	OCCUPANTS 18	STAIRS PROVIDED
2 x 36" = 72"	APT A & B	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"
2 x 36" = 72"	APT C	18 x 0.2 = 3.6'	EGRESS PROVIDED	2 x 36" = 72"

Damian Titus
 Buildings
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM

NYC Development Hub

LIFE SAFETY PLAN
 3 RESIDENTIAL UNITS
 FLRS: 32 - 43

KEY PLAN: EAST 57TH STREET, EAST 56TH STREET, MADISON AVENUE, PARK AVENUE

DRAWING TITLE: LIFE SAFETY PLAN

DATE: 2010-09
 DRAWN BY: [Signature]
 CHECKED BY: CK
 DRAWING NO: A-045.01

440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 767 9TH AVENUE
 NEW YORK, NY 10018 TEL.: 212.554.5825

EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL.: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL.: 212.924.5500

STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 65TH STREET
 NEW YORK, NY 10017 TEL.: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL.: 212.255.3682

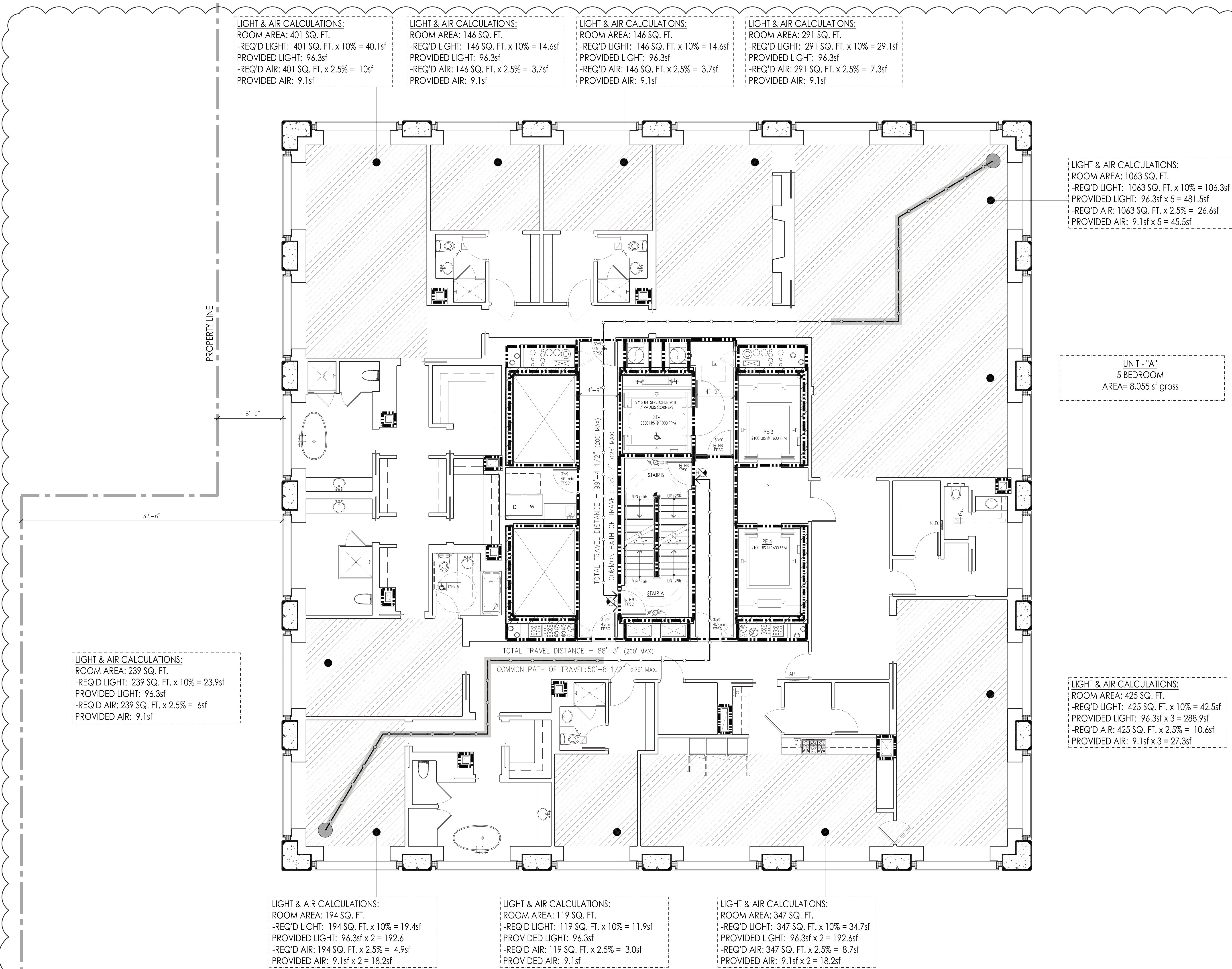
M E P ENGINEER:
 WSP FLACK + KURTZ
 3125 35TH AVENUE
 NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL.: 800.897.4551

ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 330 WEST 42ND STREET
 NEW YORK, NY 10018 TEL.: 212.714.0280

CODE CONSULTANT / EXPEDITING:
 JEROME S. GILMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT:
 TEL.: 212.349.9304

GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 149 RIVER PLAZA
 NEW YORK, NY 10122 TEL.: 917.339.9310



LIGHT & AIR CALCULATIONS:
 ROOM AREA: 401 SQ. FT.
 -REQ'D LIGHT: 401 SQ. FT. x 10% = 40.1sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 401 SQ. FT. x 2.5% = 10sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 146 SQ. FT.
 -REQ'D LIGHT: 146 SQ. FT. x 10% = 14.6sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 146 SQ. FT. x 2.5% = 3.7sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 146 SQ. FT.
 -REQ'D LIGHT: 146 SQ. FT. x 10% = 14.6sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 146 SQ. FT. x 2.5% = 3.7sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 291 SQ. FT.
 -REQ'D LIGHT: 291 SQ. FT. x 10% = 29.1sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 291 SQ. FT. x 2.5% = 7.3sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 1063 SQ. FT.
 -REQ'D LIGHT: 1063 SQ. FT. x 10% = 106.3sf
 PROVIDED LIGHT: 96.3sf x 5 = 481.5sf
 -REQ'D AIR: 1063 SQ. FT. x 2.5% = 26.6sf
 PROVIDED AIR: 9.1sf x 5 = 45.5sf

UNIT - "A"
 5 BEDROOM
 AREA= 8,055 sf gross

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 239 SQ. FT.
 -REQ'D LIGHT: 239 SQ. FT. x 10% = 23.9sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 239 SQ. FT. x 2.5% = 6sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 425 SQ. FT.
 -REQ'D LIGHT: 425 SQ. FT. x 10% = 42.5sf
 PROVIDED LIGHT: 96.3sf x 3 = 288.9sf
 -REQ'D AIR: 425 SQ. FT. x 2.5% = 10.6sf
 PROVIDED AIR: 9.1sf x 3 = 27.3sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 194 SQ. FT.
 -REQ'D LIGHT: 194 SQ. FT. x 10% = 19.4sf
 PROVIDED LIGHT: 96.3sf x 2 = 192.6
 -REQ'D AIR: 194 SQ. FT. x 2.5% = 4.9sf
 PROVIDED AIR: 9.1sf x 2 = 18.2sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 119 SQ. FT.
 -REQ'D LIGHT: 119 SQ. FT. x 10% = 11.9sf
 PROVIDED LIGHT: 96.3sf
 -REQ'D AIR: 119 SQ. FT. x 2.5% = 3.0sf
 PROVIDED AIR: 9.1sf

LIGHT & AIR CALCULATIONS:
 ROOM AREA: 347 SQ. FT.
 -REQ'D LIGHT: 347 SQ. FT. x 10% = 34.7sf
 PROVIDED LIGHT: 96.3sf x 2 = 192.6sf
 -REQ'D AIR: 347 SQ. FT. x 2.5% = 8.7sf
 PROVIDED AIR: 9.1sf x 2 = 18.2sf

ADDITIONAL NOTES:

- ALL R2 SPACES ARE PROVIDED WITH DUCTED OUTSIDE AIR. THEREFORE, THE REQUIRED 5% OF THE HABITABLE FLOOR AREA REQUIREMENT IS REDUCED TO 2.5% PER SECTION 1203.4.1.2, EXCEPTION #1.
- ON ALL RESIDENTIAL FLOORS THE STAIR DOORS WILL BE LOCKED FROM THE STAIR SIDE IN COMPLIANCE WITH SECTION 1008.1.8.7 & 403.12. THESE DOORS WILL BE EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM.
- THE SERVICE ELEVATOR SE-1 WILL HAVE A ZERO CLEARANCE GATE WHERE SHOWN ON CERTAIN RESIDENTIAL FLOORS. THE SPACE BETWEEN THE HOISTWAY DOORS AND THE GATE WILL BE LESS THAN 6".
- PASSENGER ELEVATORS P-1 THROUGH P-4 AND SE-1 WILL BE SIZED FOR A GURNEY AND WILL BE HANDICAP ACCESSIBLE. ALL OF THESE ELEVATORS WILL COMPLY WITH THE MINIMUM OF TWO HANDICAP ACCESSIBLE ENITS.

LEGEND

- HABITABLE FLOOR AREA
- COMMON PATH TRAVEL DISTANCE
- GENERAL TRAVEL DISTANCE
- ONE HOUR BEARING WALLS (45-MINUTE SELF-CLOSING DOORS)
- TWO HOUR WALLS (90-MINUTE SELF-CLOSING DOORS)
- THREE HOUR WALLS (3HR SELF-CLOSING DOORS)
- FIRE EXTINGUISHER
- EXIT SIGNS (ARROW INDICATE DIRECTION)
- SMOKE/ CARBON MONOXIDE DETECTOR

RESIDENTIAL GENERAL NOTES:

- BUILDING IS FULLY SPRINKLERED PER NFPA 13
- CORRIDOR PARTITIONS ARE REQUIRED TO BE ONE HOUR RATED, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE SFC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.

GENERAL BUILDING DATA

ADDRESS: 440 PARK AVENUE
 NEW YORK, NY 10022

BLOCK: 1292
 ZONING DISTRICT: CS-37 (CS-2.5 - MD)
 ZONING MAP: 20
 LOT: 33.46, 145.45, 44.843
 LOT AREA: 39,391.70 SF

SQUARE FOOTAGE:
 SEE SHEET 2-002 FOR COMPLETE BREAK DOWN OF FLOOR AREA PER FLOOR

CODE DATA

BUILDING LIMITATIONS

CATEGORY	CODE SECTION	CRITERIA
1. APPLICABLE BUILDING CODES	2008 BUILDING CODE OF THE CITY OF NEW YORK FEDERAL FAIR HOUSING ACT HANDICAP ACCESSIBILITY: AMERICAN NATIONAL STANDARDS INSTITUTE 7 AND 9-17.1-2003 AMERICANS WITH DISABILITIES ACT - PUBLIC SPACES (LATEST AMENDMENTS)	TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE
		TABLE 704.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS
2. BUILDING OCCUPANCY	308.2	R-2 APARTMENTS A-2 ASSEMBLY/RESTAURANT A-3 POOL & EXERCISE M RETAIL S-2 STORAGE, MECHANICAL
		TABLE 601 NONCOMBUSTIBLE I-B
3. CONSTRUCTION CLASSIFICATION	TABLE 601	NONCOMBUSTIBLE I-B
4. HEIGHT LIMITATIONS	TABLE 503	NO LIMIT HEIGHT OR AREA - B
5. FIRE PROTECTION	TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)
		TABLE 602 BEARING WALLS & PARTITIONS - EXTERIOR TABLE 602 NON-BEARING WALLS & PARTITIONS - INTERIOR TABLE 602 FLOOR CONSTRUCTION - SUPPORTING BEAMS & JOINTS TABLE 602 ROOF CONSTRUCTION - SUPPORTING BEAMS & JOINTS

TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY GROUP - I
< 5	ALL	1
>= 5 TO < 10	IA	1
>= 5 TO < 10	OTHERS	1
>= 10 TO < 30	IA, IB	1
>= 10 TO < 30	IB, VB	0
>= 10 TO < 30	OTHERS	1
>= 30	ALL	0

TABLE 704.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	0 ≤ TO < 3	3 ≤ TO < 5	5 ≤ TO < 10	10 ≤ TO < 15	15 ≤ TO < 20	20 ≤ TO < 25	25 ≤ TO < 30	30 ≤
UNPROTECTED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	70%	NO LIMIT
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

TABLE 803.5 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

GROUP	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES	VERTICAL EXITS AND EXIT PASSAGEWAYS	EXIT ACCESS CORRIDORS AND OTHER EXITS	ROOMS AND ENCLOSED SPACES
A-2	B	B	C	A	A	B
R-2	B	C	C	A	B	B

TABLE 1005.1 EGRESS WIDTH

OCCUPANCY CLASS	TRAVEL DISTANCE	EGRESS WIDTH FOR OCCUPANTS	CAPACITY	MIN. WIDTH	MAX. DEAD END (1016.3)	COMMON PATH OF TRAVEL (1011.3)
R-2	200	DOORS	DOORS	0.2	0.2	44
A-2	150-P/250-S	0.2	0.3	0.2	44	20'
M	200	0.2	0.3	0.2	44	20'
S-2	250	0.2	0.3	0.2	44	20'
A	250-S	0.2	0.3	0.2	44	20'
B	300	0.2	0.3	0.2	44	20'

OCCUPANCIES

USE	CLASS	AREA S.F.	FLR AREA / OCCUPANT	OCCUPANT LOAD
WATER SERVICE/PUMP ROOM	*	300		
COMPACTOR ROOM #1	*	300		
CART STORAGE	*	300		NON-SIMULT
BOKER ROOM	*	300		
LAUNDRY ROOM	*	100		
MECHANICAL ROOM	*	300		
COMPACTOR ROOM #2	*	300		
TELECOM ROOM	*	300		
CONDENSING WATER SERVICE RM.	*	300		
GAS METER ROOM	*	300		
ELECTRICAL SWITCHGEAR ROOM	*	300		
RESIDENTIAL STORAGE	S-2	300		
LAITS ROOM	*	300		NON-SIMULT
FUEL OIL TANK ROOM	*	300		NON-SIMULT
EMPLOYEE TOILETS & LOCKERS	**	50		NON-SIMULT
EMPLOYEE FACILITIES	**	100		NON-SIMULT
SUPER'S OFFICE/PARKING OFFICE	**	30		NON-SIMULT
RETAIL (GRADE & BASEMENT)	M	60		NON-SIMULT
PARKING GARAGE	M	200		NON-SIMULT
RESTAURANT	A-2	15		
APARTMENT	R-2	200		

TABLE 1004.1.2

TABLE 1005.1

TABLE 1005.1.1

TABLE 1005.1.2

TABLE 1005.1.3

TABLE 1005.1.4

TABLE 1005.1.5

TABLE 1005.1.6

TABLE 1005.1.7

TABLE 1005.1.8

TABLE 1005.1.9

TABLE 1005.1.10

TABLE 1005.1.11

TABLE 1005.1.12

TABLE 1005.1.13

TABLE 1005.1.14

TABLE 1005.1.15

TABLE 1005.1.16

TABLE 1005.1.17

TABLE 1005.1.18

TABLE 1005.1.19

TABLE 1005.1.20

TABLE 1005.1.21

TABLE 1005.1.22

TABLE 1005.1.23

TABLE 1005.1.24

TABLE 1005.1.25

TABLE 1005.1.26

TABLE 1005.1.27

TABLE 1005.1.28

TABLE 1005.1.29

TABLE 1005.1.30

TABLE 1005.1.31

TABLE 1005.1.32

TABLE 1005.1.33

TABLE 1005.1.34

TABLE 1005.1.35

TABLE 1005.1.36

TABLE 1005.1.37

TABLE 1005.1.38

TABLE 1005.1.39

TABLE 1005.1.40

TABLE 1005.1.41

TABLE 1005.1.42

TABLE 1005.1.43

TABLE 1005.1.44

TABLE 1005.1.45

TABLE 1005.1.46

TABLE 1005.1.47

TABLE 1005.1.48

TABLE 1005.1.49

TABLE 1005.1.50

TABLE 1005.1.51

TABLE 1005.1.52

TABLE 1005.1.53

TABLE 1005.1.54

TABLE 1005.1.55

TABLE 1005.1.56

TABLE 1005.1.57

TABLE 1005.1.58

TABLE 1005.1.59

TABLE 1005.1.60

TABLE 1005.1.61

TABLE 1005.1.62

TABLE 1005.1.63

TABLE 1005.1.64

TABLE 1005.1.65

TABLE 1005.1.66

TABLE 1005.1.67

TABLE 1005.1.68

TABLE 1005.1.69

TABLE 1005.1.70

TABLE 1005.1.71

TABLE 1005.1.72

TABLE 1005.1.73

TABLE 1005.1.74

TABLE 1005.1.75

TABLE 1005.1.76

TABLE 1005.1.77

TABLE 1005.1.78

TABLE 1005.1.79

TABLE 1005.1.80

TABLE 1005.1.81

TABLE 1005.1.82

TABLE 1005.1.83

TABLE 1005.1.84

TABLE 1005.1.85

TABLE 1005.1.86

TABLE 1005.1.87

TABLE 1005.1.88

TABLE 1005.1.89

TABLE 1005.1.90

TABLE 1005.1.91

TABLE 1005.1.92

TABLE 1005.1.93

TABLE 1005.1.94

TABLE 1005.1.95

TABLE 1005.1.96

TABLE 1005.1.97

TABLE 1005.1.98

TABLE 1005.1.99

TABLE 1005.1.100

EGRESS CALCULATIONS - RESIDENTIAL FLOOR

APARTMENTS

OCCUPANCY: R-2	CLASS	AREA S.F.	FLR AREA / OCCUPANT	PER TABLE 1004.1.2 OCCUPANT LOAD
APT UNIT 'A'	R-2	8,055	200 GROSS	40
TOTAL				40

TABLE 1005.1

EGRESS WIDTH PER OCCUPANT SERVED

TABLE 1005.1.1

TABLE 1005.1.2

TABLE 1005.1.3

TABLE 1005.1.4

TABLE 1005.1.5

TABLE 1005.1.6

TABLE 1005.1.7

TABLE 1005.1.8

TABLE 1005.1.9

TABLE 1005.1.10

TABLE 1005.1.11

TABLE 1005.1.12

TABLE 1005.1.13

TABLE 1005.1.14

TABLE 1005.1.15

TABLE 1005.1.16

TABLE 1005.1.17

TABLE 1005.1.18

TABLE 1005.1.19

TABLE 1005.1.20

TABLE 1005.1.21

TABLE 1005.1.22

TABLE 1005.1.23

TABLE 1005.1.24

TABLE 1005.1.25

TABLE 1005.1.26

TABLE 1005.1.27

TABLE 1005.1.28

TABLE 1005.1.29

TABLE 1005.1.30

TABLE 1005.1.31

TABLE 1005.1.32

TABLE 1005.1.33

TABLE 1005.1.34

TABLE 1005.1.35

TABLE 1005.1.36

TABLE 1005.1.37

TABLE 1005.1.38

TABLE 1005.1.39

TABLE 1005.1.40

TABLE 1005.1.41

TABLE 1005.1.42

TABLE 1005.1.43

TABLE 1005.1.44

TABLE 1005.1.45

TABLE 1005.1.46

TABLE 1005.1.47

TABLE 1005.1.48

TABLE 1005.1.49

TABLE 1005.1.50

TABLE 1005.1.51

TABLE 1005.1.52

TABLE 1005.1.53

TABLE 1005.1.54

TABLE 1005.1.55

TABLE 1005.1.56

TABLE 1005.1.57

TABLE 1005.1.58

TABLE 1005.1.59

TABLE 1005.1.60

TABLE 1005.1.61

TABLE 1005.1.62

TABLE 1005.1.63

TABLE 1005.1.64

TABLE 1005.1.65

TABLE 1005.1.66

TABLE 1005.1.67

TABLE 1005.1.68

TABLE 1005.1.69

TABLE 1005.1.70

TABLE 1005.1.71

TABLE 1005.1.72

TABLE 1005.1.73

TABLE 1005.1.74

TABLE 1005.1.75

TABLE 1005.1.76

TABLE 1005.1.77

TABLE 1005.1.78

TABLE 1005.1.79

TABLE 1005.1.80

TABLE 1005.1.81

TABLE 1005.1.82

TABLE 1005.1.83

TABLE 1005.1.84

TABLE 1005.1.85

TABLE 1005.1.86

TABLE 1005.1.87

TABLE 1005.1.88

TABLE 1005.1.89

TABLE 1005.1.90

TABLE 1005.1.91

TABLE 1005.1.92

TABLE 1005.1.93

TABLE 1005.1.94

TABLE 1005.1.95

TABLE 1005.1.96

TABLE 1005.1.97

TABLE 1005.1.98

TABLE 1005.1.99

TABLE 1005.1.100

Damian Titus
 Buildings
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM

APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM

NYC Development Hub

LIFE SAFETY PLAN
 1 RESIDENTIAL UNITS
 FLRS: 68 THRU 71

SEAL & SIGNATURE
 DATE: 2012-06-27
 DRAWN BY: NP
 CHECKED BY: CK
 DRAWING NO: A-048.01

PROJECT:
440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 767 5TH AVENUE
 NEW YORK, NY 10013 TEL: 212.554.5825

EXECUTIVE ARCHITECT:
 SLCE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10013 TEL: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.5500

STRUCTURAL ENGINEER:
 WSP CANTOR SENIUK
 228 EAST 45TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888

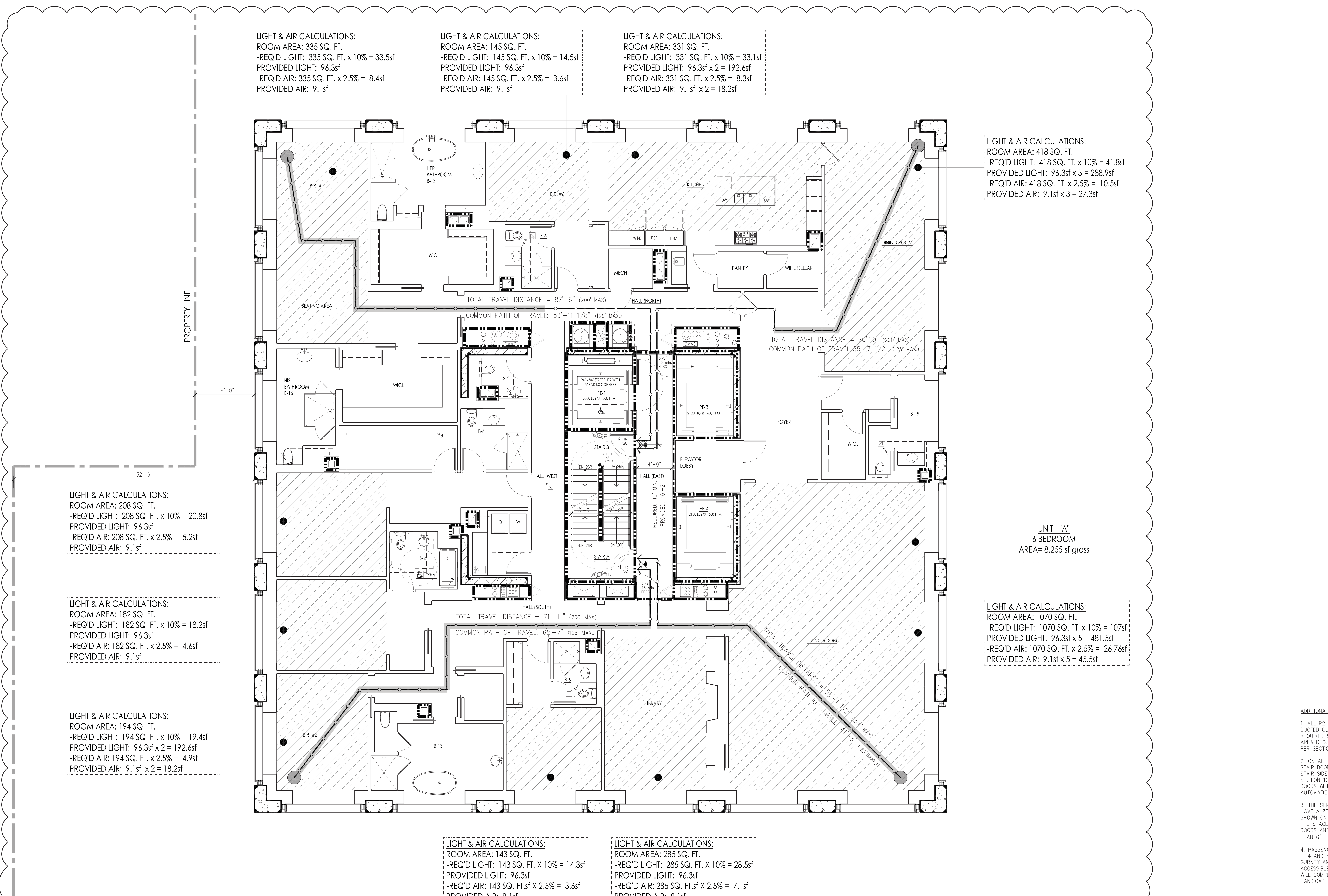
CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 55 5TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

M E P ENGINEER:
 WSP FLACK + KURTZ
 313 SPENGLER AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4551

ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 330 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT:
 GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 14 FRANK PLAZA
 NEW YORK, NY 0122 TEL: 917.339.9310



ADDITIONAL NOTES:

- ALL R2 SPACES ARE PROVIDED WITH DUCTED OUTSIDE AIR. THEREFORE, THE REQUIRED 5% OF THE HABITABLE FLOOR AREA REQUIREMENT IS REDUCED TO 2.5% PER SECTION 1203.4.1.2, EXCEPTION #1.
- ON ALL RESIDENTIAL FLOORS THE STAIR DOORS WILL BE LOCKED FROM THE STAIR SIDE IN COMPLIANCE WITH SECTION 1008.1.8.7 & 403.12. THESE DOORS WILL BE EQUIPPED WITH AN AUTOMATIC FAIL SAFE SYSTEM.
- THE SERVICE ELEVATOR SE-1 WILL HAVE A ZERO CLEARANCE GATE WHERE SHOWN ON CERTAIN RESIDENTIAL FLOORS. THE SPACE BETWEEN THE HOISTWAY DOORS AND THE GATE WILL BE LESS THAN 6".
- PASSENGER ELEVATORS P-1 THROUGH P-4 AND SE-1 WILL BE SIZED FOR A GURNEY AND WILL BE HANDICAP ACCESSIBLE. ALL OF THESE ELEVATORS WILL COMPLY WITH THE MINIMUM OF TWO HANDICAP ACCESSIBLE ENTS.

LEGEND

- HABITABLE FLOOR AREA
- COMMON PATH TRAVEL DISTANCE
- GENERAL TRAVEL DISTANCE
- ONE HOUR BEARING WALLS (45-MINUTE SELF-CLOSING DOORS)
- TWO HOUR WALLS (90-MINUTE SELF-CLOSING DOORS)
- THREE HOUR WALLS (3HR SELF-CLOSING DOORS)
- FIRE EXTINGUISHER
- EXIT SIGNS (ARROW INDICATE DIRECTION)
- SMOKE/ CARBON MONOXIDE DETECTOR

RESIDENTIAL GENERAL NOTES:

- BUILDING IS FULLY SPRINKLERED PER NFPA 13
- CORRIDOR PARTITIONS ARE REQUIRED TO BE ONE HOUR RATED, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE SFC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.

GENERAL BUILDING DATA

ADDRESS: 440 PARK AVENUE
 NEW YORK, NY 10022

BLOCK: 1292
 ZONING DISTRICT: CS-37 (CS-2.5 - MD)
 ZONING MAP: 200
 LOT: 33.46, 145.45, 44.843
 LOT AREA: 39,391.70 SF

SQUARE FOOTAGE:
 SEE SHEET 2-002 FOR COMPLETE BREAK DOWN OF FLOOR AREA PER FLOOR

CODE DATA

BUILDING LIMITATIONS

CATEGORY	CODE SECTION	CRITERIA
1. APPLICABLE BUILDING CODES	2008 BUILDING CODE OF THE CITY OF NEW YORK FEDERAL FAIR HOUSING ACT HANDICAP ACCESSIBILITY AMERICAN NATIONAL STANDARDS INSTITUTE 7 AND 9-17.1-2003 AMERICANS WITH DISABILITIES ACT - PUBLIC SPACES (LATEST AMENDMENTS)	TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE
		TABLE 704.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS
2. BUILDING OCCUPANCY:	308.2	R-2 APARTMENTS A-2 ASSEMBLY/RESTAURANT A-3 POOL & EXERCISE M RETAIL S-2 STORAGE, MECHANICAL
		TABLE 601 NONCOMBUSTIBLE I-B
3. CONSTRUCTION CLASSIFICATION	TABLE 603	NO LIMIT HEIGHT OR AREA - IB
4. HEIGHT LIMITATIONS	TABLE 503	NO LIMIT HEIGHT OR AREA - IB
5. FIRE PROTECTION	TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING TYPE I-B
6. EGRESS REQUIREMENTS (FULLY SPRINKLERED):	TABLE 1005.1	EXIT ACCESS TRAVEL DISTANCE

TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY GROUP - I
< 5	ALL	1
≥ 5 TO < 10	IA	1
≥ 10 TO < 30	OTHERS	1
≥ 10 TO < 30	IA, IB	1
≥ 10 TO < 30	IB, VB	0
≥ 10 TO < 30	OTHERS	1
≥ 30	ALL	0

TABLE 704.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	0 ≤ TO < 3	3 ≤ TO < 5	5 ≤ TO < 10	10 ≤ TO < 15	15 ≤ TO < 20	20 ≤ TO < 25	25 ≤ TO < 30	30 ≤
UNPROTECTED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	70%	NO LIMIT
PROTECTED	NOT PERMITTED	15%	25%	45%	75%	NO LIMIT	NO LIMIT	NO LIMIT

TABLE 1005.1 EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY CLASS	TRAVEL DISTANCE	CAPACITY			COMMON PATH OF TRAVEL (1013.5)
		DOORS	STAIRS	RAMP	
R-2	200	0.2	0.3	0.2	40' (80' WITH 2HR CORR)
A-2	150-P/250-S	0.2	0.3	0.2	44'
M	200	0.2	0.3	0.2	44'
S-2	250	0.2	0.3	0.2	44'
A	250-S	0.2	0.3	0.2	44'
B	300	0.2	0.3	0.2	44'

OCCUPANCIES

USE	CLASS	AREA S.F.	FLR AREA / OCCUPANT	OCCUPANT LOAD
WATER SERVICE/PUMP ROOM	*	300		
COMPACTOR ROOM #1	*	300		
CART STORAGE	*	300		NON-SIMULT
BOOKER ROOM	*	300		
LAUNDRY ROOM	*	100		
MECHANICAL ROOM	*	300		
COMPACTOR ROOM #2	*	300		
TELECOM ROOM	*	300		
CONDENSING WATER SERVICE RM	*	300		
GAS METER ROOM	*	300		
ELECTRICAL SWITCHGEAR ROOM	*	300		
RESIDENTIAL STORAGE	S-2	300		
LET'S ROOM	*	300		NON-SIMULT
FUEL OIL TANK ROOM	*	300		NON-SIMULT
EMPLOYEE TOILETS & LOCKERS	**	50		NON-SIMULT
EMPLOYEE FACILITIES	**	100		
SUPER'S OFFICE/PARKING OFFICE	**	100		
RETAIL (GRADE & BASEMENT)	M	60		NON-SIMULT
PARKING GARAGE	M	200		NON-SIMULT
RESTAURANT	A-2	15		
APARTMENT	R-2	200		

* INCIDENTAL USE AREAS FOR PER TABLE 508.2
 ** ACCESSORY PER TABLE 508.1

EGRESS CALCULATIONS - RESIDENTIAL FLOOR

APARTMENTS

OCCUPANCY: R-2	PER TABLE 1004.1.2			
	CLASS	AREA S.F.	FLR AREA / OCCUPANT	OCCUPANT LOAD
APT UNIT 'A'	R-2	8,255	200 GROSS	41
TOTAL				41

TABLE 1005.1 EGRESS WIDTH PER OCCUPANT SERVED

- STAIRS REQUIRED PER TABLE 1005.1.1
 STAIRS = 0.37 OCCUPANT LOAD
 OCCUPANTS: 41
 0.37 x 41 = 15.27
 STAIRS PROVIDED: 2 x 36" = 72"
- DOORS REQUIRED PER TABLE 1005.1.2
 APT 'A'
 41 x 0.2 = 8.2
 DOORS PROVIDED: 2 x 36" = 72"
- CORRIDORS REQUIRED PER TABLE 1005.1.3
 PER 1016.2, MIN. REQUIRED: 44"
 PROVIDED: 57"

KEY PLAN:

DRAWING TITLE:
LIFE SAFETY PLAN
1 RESIDENTIAL UNITS
FLRS: 74 THRU 78

APPROVED
 Under Directive 2 of 1975
AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM

DAMIAN TITUS
 Buildings
 NYC Development Hub

SEAL & SIGNATURE:
 DATE: 2012-06-27
 DRAWN BY: [Signature]
 CHECKED BY: CK
 DRAWING NO: A-049.01
 CADD FILE NO: [Signature]

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
767 5TH AVENUE
NEW YORK, NY 10013 TEL.: 212.554.5923

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.9500

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL.: 212.467.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

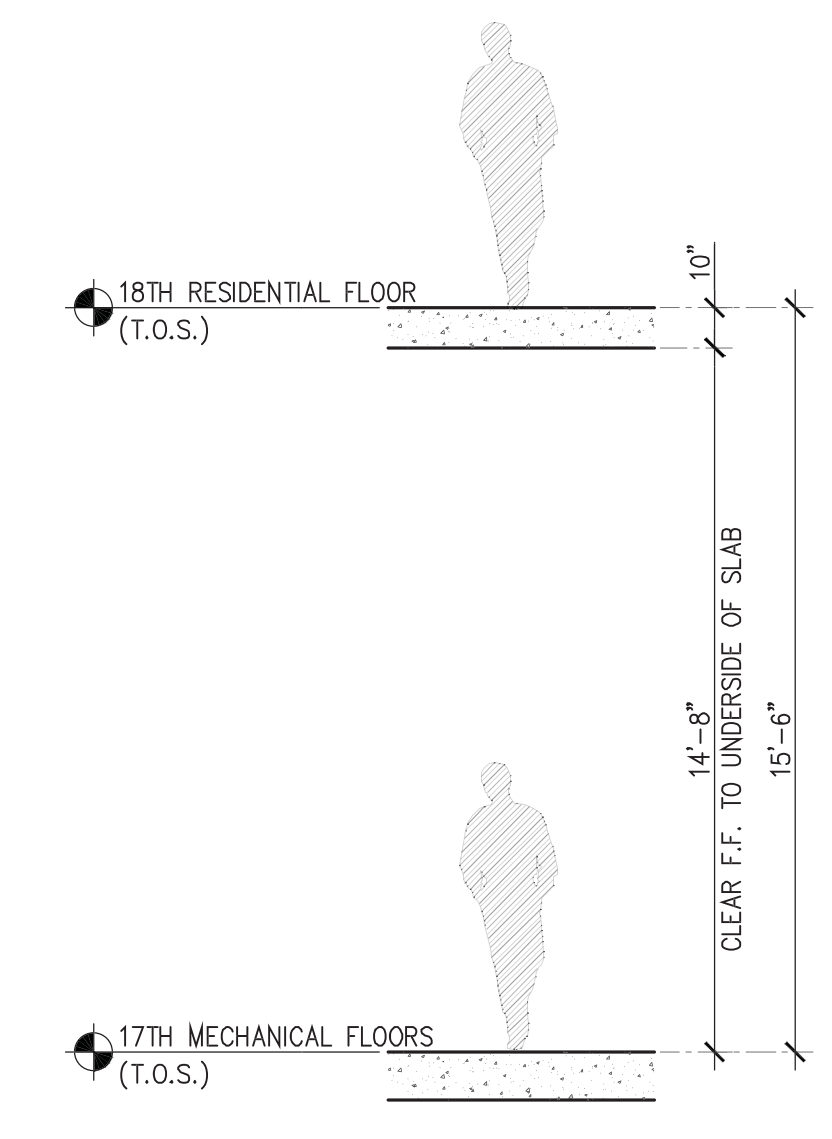
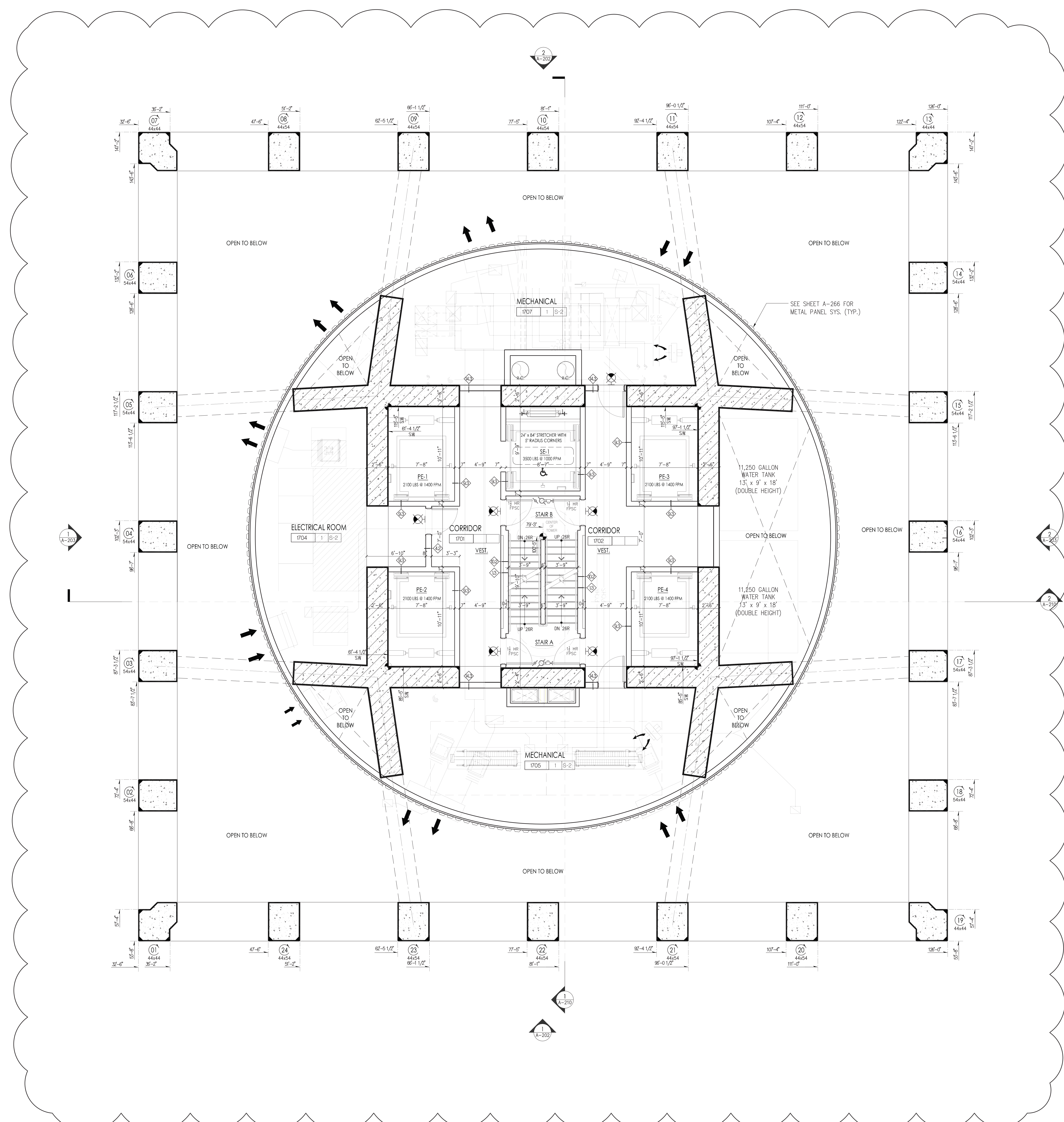
M.P.E. ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4331

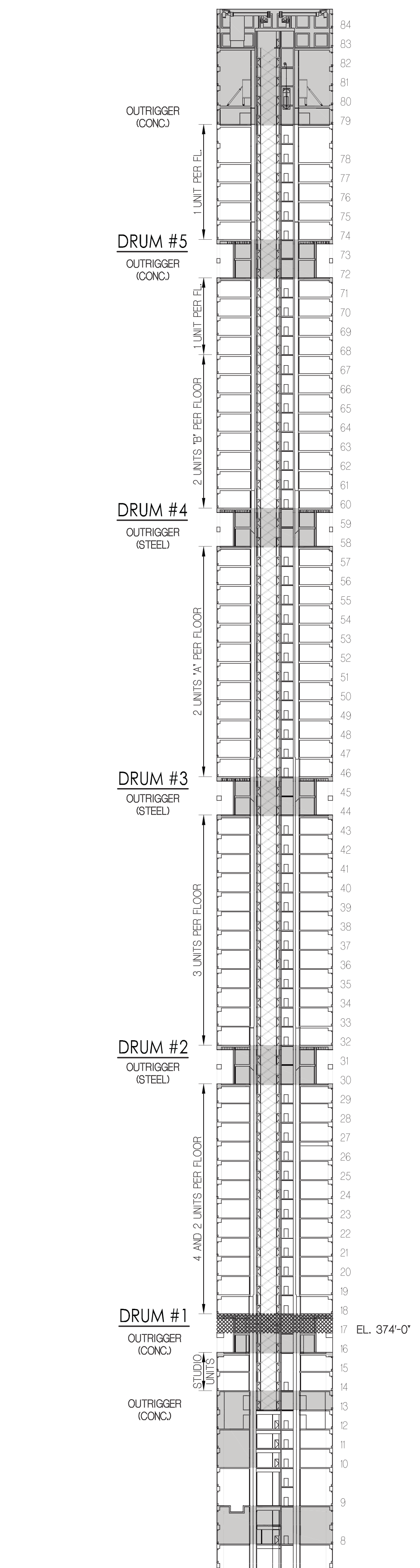
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0290

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL.: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
140 WEST 30TH STREET
NEW YORK, NY 10012 TEL.: 917.339.9310

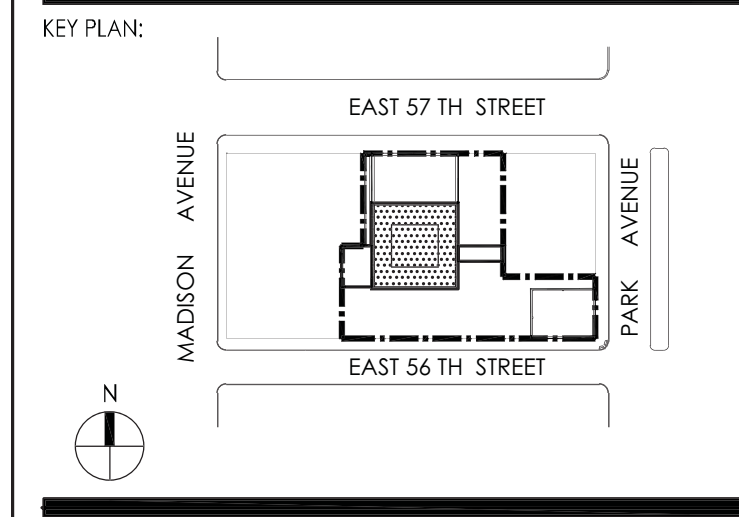


A FLOOR HEIGHT DIAGRAM
SCALE: N.T.S.



Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
FLOOR LOCATION DIAGRAM
NYC Development Hub

06.01.2012 FAA
10.25.2011 DOB SUBMITTAL
No. Date: Revision:
SCALE:
1/4" = 1'-0"

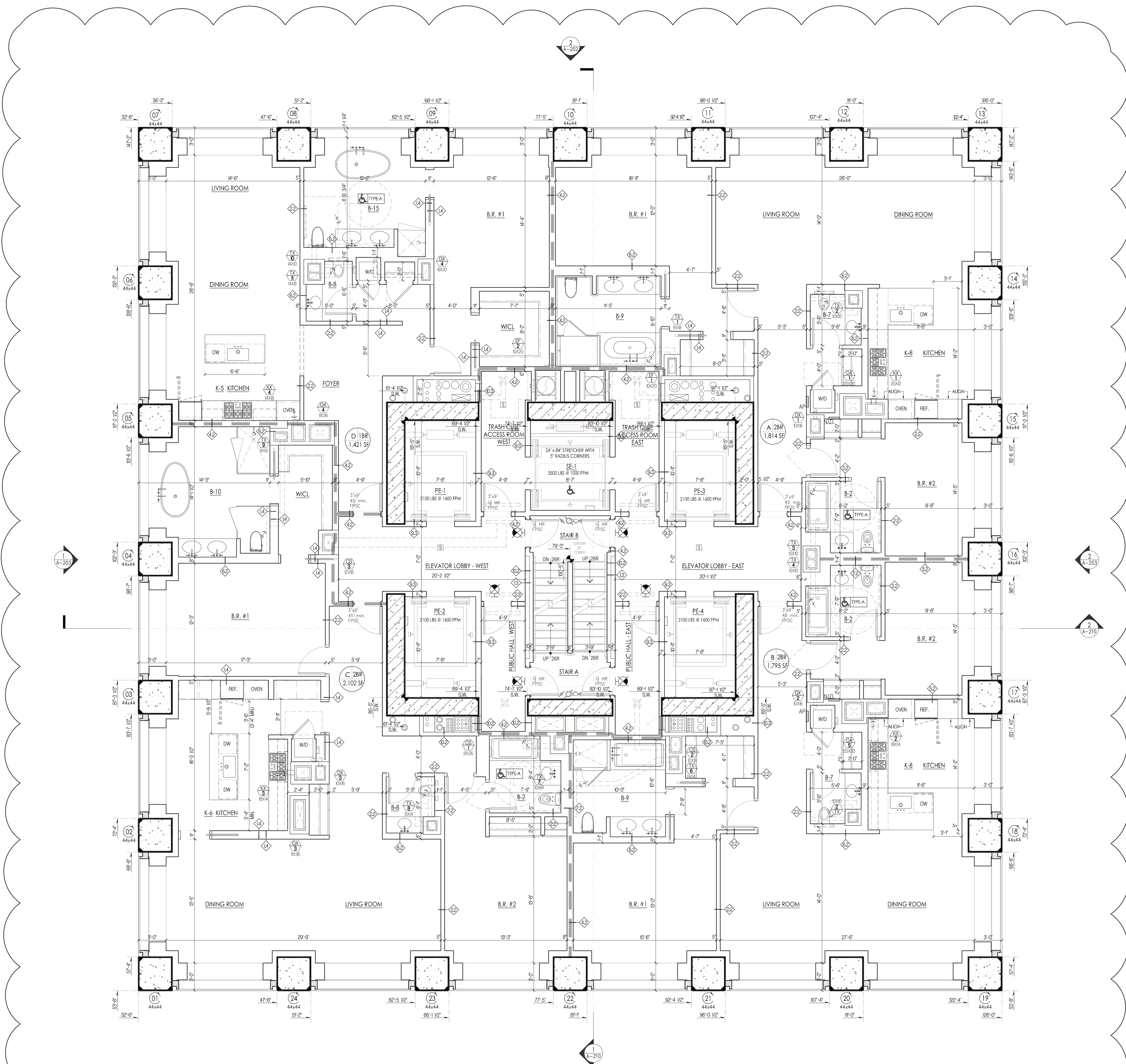


DRAWING TITLE: DRUM #1 17TH FLOOR PLAN MECHANICAL

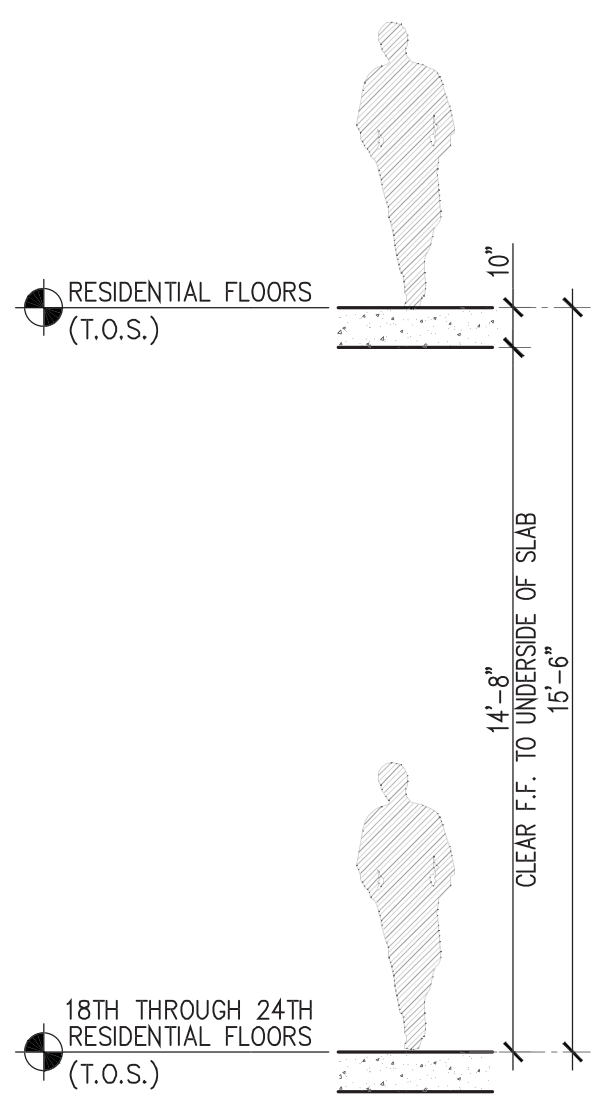
SEAL & SIGNATURE	DATE
PROJECT NO: 2010-40	DRAWN BY: NP
CHECKED BY: CK	DRAWING NO: A-125.01
CAD FILE NO:	

440 PARK AVENUE

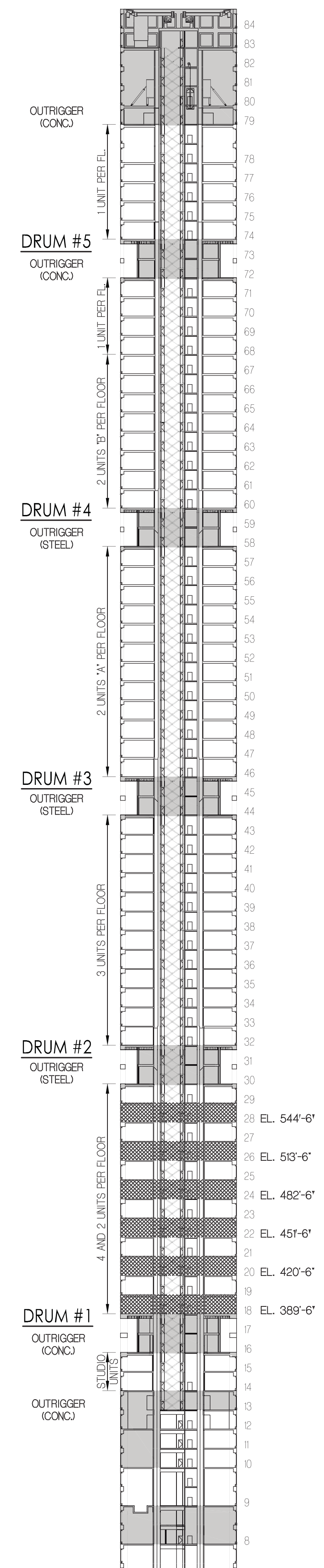
PROJECT:
 OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.
 DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 767 5TH AVENUE
 NEW YORK, NY 10019 TEL: 212.554.9823
 EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400
 DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.9500
 STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 64TH STREET
 NEW YORK, NY 10017 TEL: 212.467.9888
 CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 5TH AVENUE
 NEW YORK, NY 10019 TEL: 212.251.3682
 M E P ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600
 ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4531
 ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0290
 CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 TEL: 212.349.9304
 ZONING CONSULTANT:
 GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 149 WEST 17TH
 NEW YORK, NY 10011 TEL: 917.339.9310



NOTE:
 1. PARTITION TYPE 10.210 TO BE USED FOR ALL KITCHEN AND BATHROOM MECHANICAL EXHAUST RISERS AND OUTSIDE AIR MECHANICAL RISERS.
 2. ALL PARTITIONS TO HAVE SOUND ATTENUATION INSULATION.

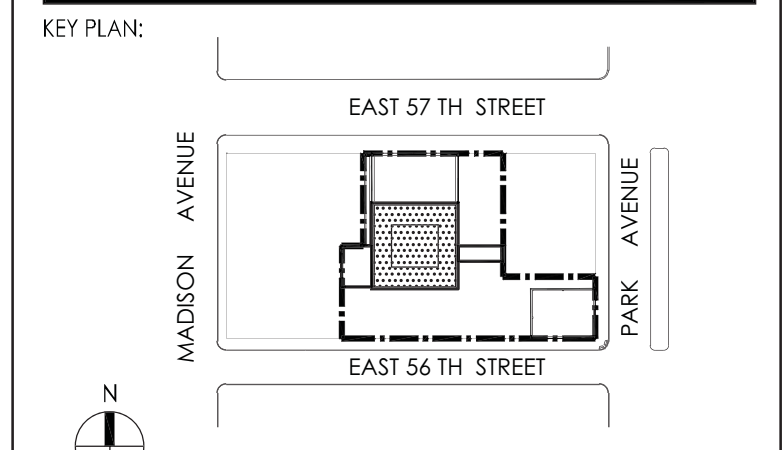


A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



Damian Titus
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub

06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No: Dots: Revision:
 SCALE:
 1/4" = 1'-0"



DRAWING TITLE:
 18TH, 20TH, 22ND,
 24TH, 26 AND 28TH
 FLOOR PLANS

SEAL & SIGNATURE: DATE: PROJECT NO: 2010-40
 DRAWN BY: NP
 CHECKED BY: CK
 DRAWING NO: A-126.01
 CASTLE HILL

PROJECT:
440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
757 5TH AVENUE
NEW YORK, NY 10019 TEL.: 212.554.9823

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.9500

STRUCTURAL ENGINEER:
WSP CANTOR SEUNK
228 EAST 64TH STREET
NEW YORK, NY 10017 TEL.: 212.467.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 5TH AVENUE
NEW YORK, NY 10019 TEL.: 212.255.3682

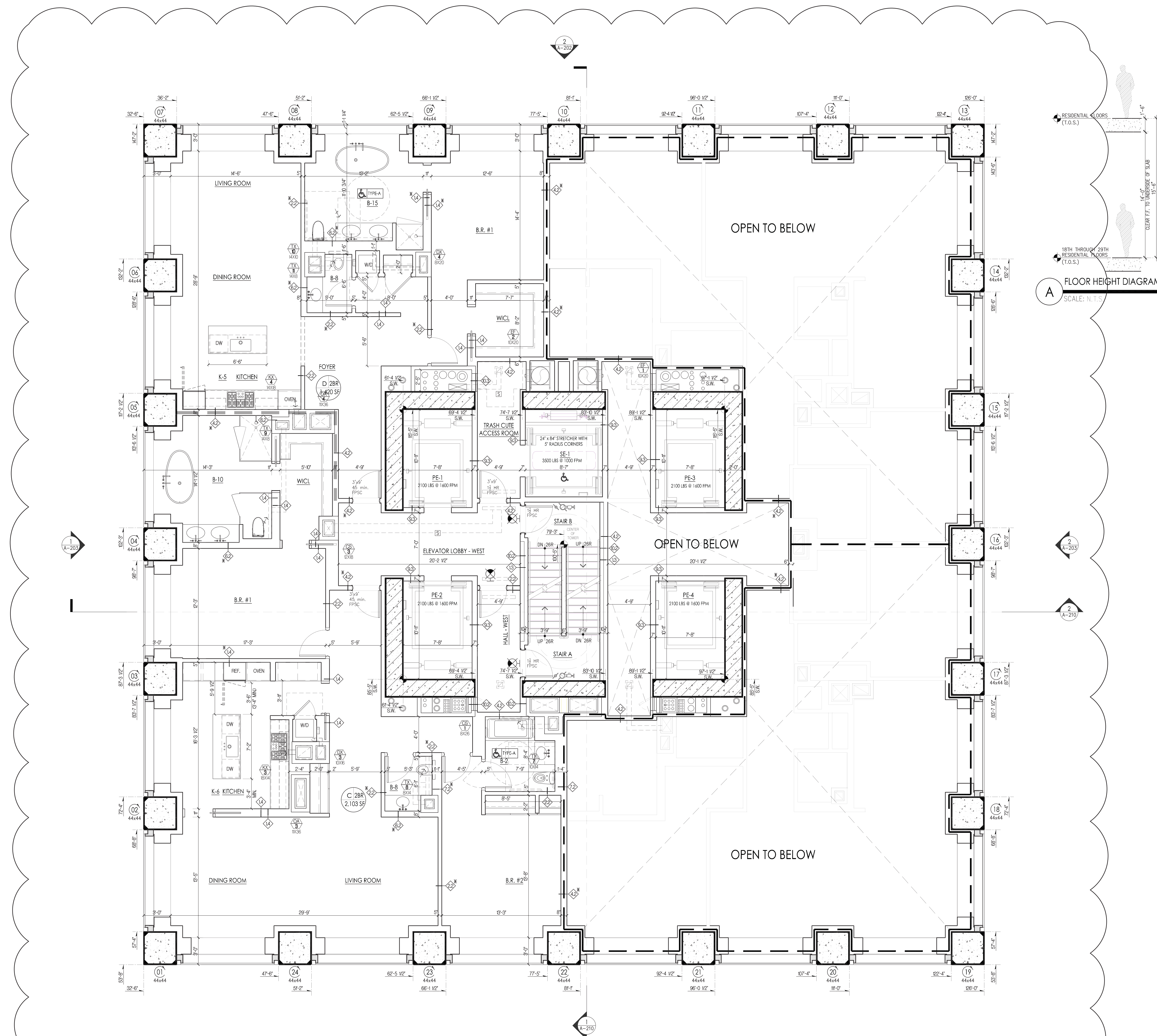
M/E/P ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4351

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0280

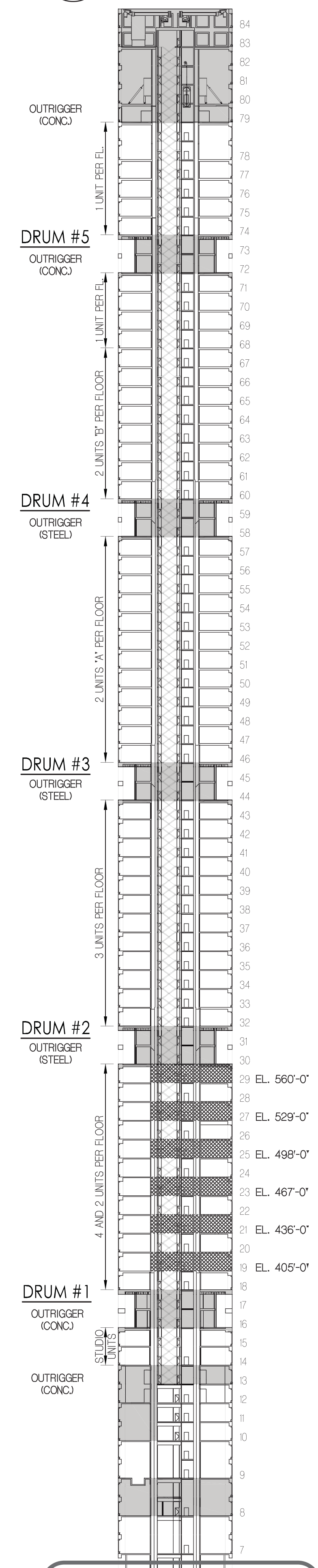
CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL.: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
147 WEST 174TH
NEW YORK, NY 10122 TEL.: 917.339.9310



A FLOOR HEIGHT DIAGRAM
SCALE: N.T.S.

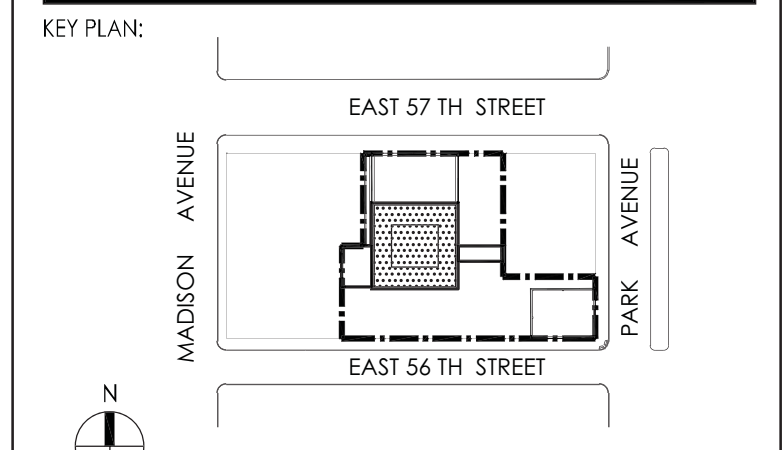
B FLOOR HEIGHT DIAGRAM
SCALE: N.T.S.



NOTE:
1. PARTITION TYPE 10.210 TO BE USED FOR ALL KITCHEN AND BATHROOM MECHANICAL EXHAUST RISERS AND OUTSIDE AIR MECHANICAL RISERS.
2. ALL PARTITIONS TO HAVE SOUND ATTENUATION INSULATION.

Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

06.01.2012 FAA
10.25.2011 DOB SUBMITTAL
No. Date: Revision:
SCALE:
1/4" = 1'-0"

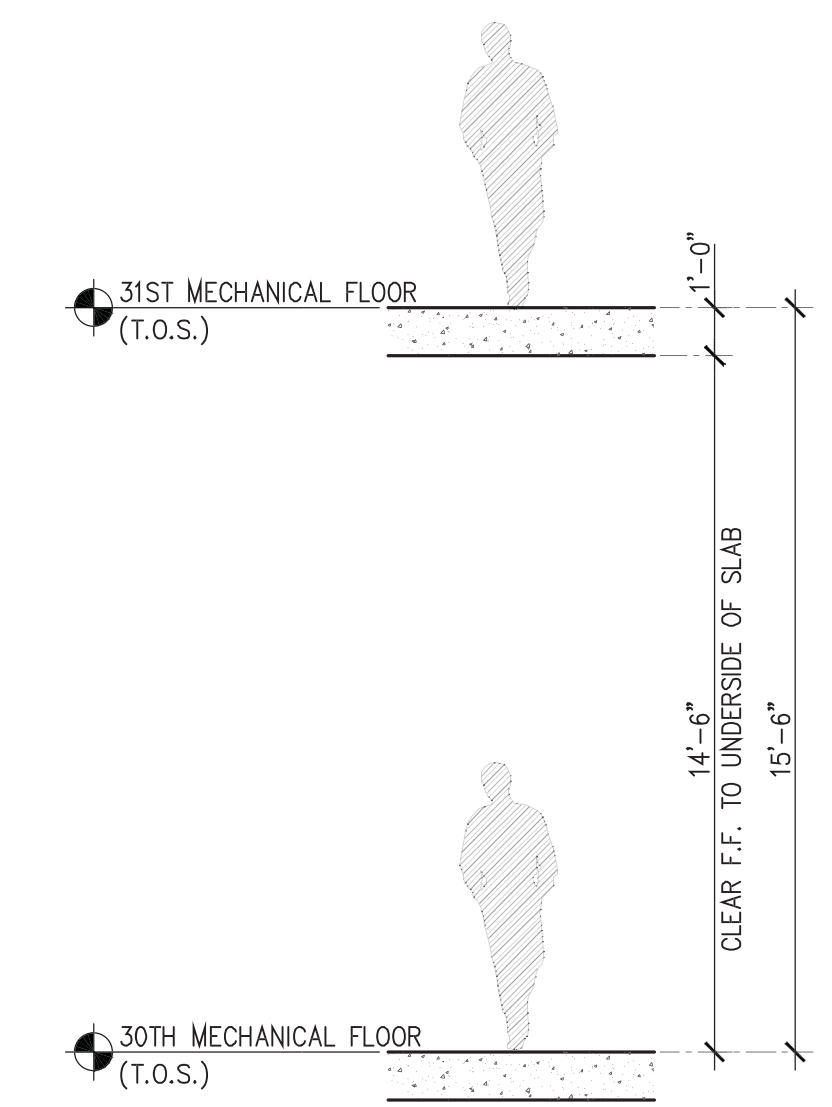


DRAWING TITLE:
**19TH, 21ST, 23RD,
25TH, 27TH AND 29TH
FLOOR PLANS**

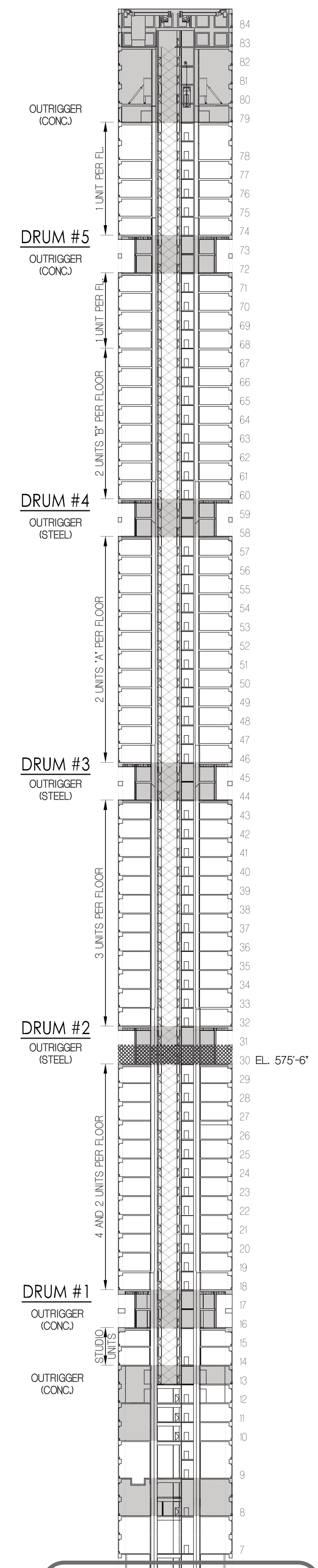
SEAL & SIGNATURE: [Signature]
DATE: 2010-08
DRAWN BY: NP
CHECKED BY: CK
DRAWING NO.: A-127.01
CASTLE NO.:

440 PARK AVENUE

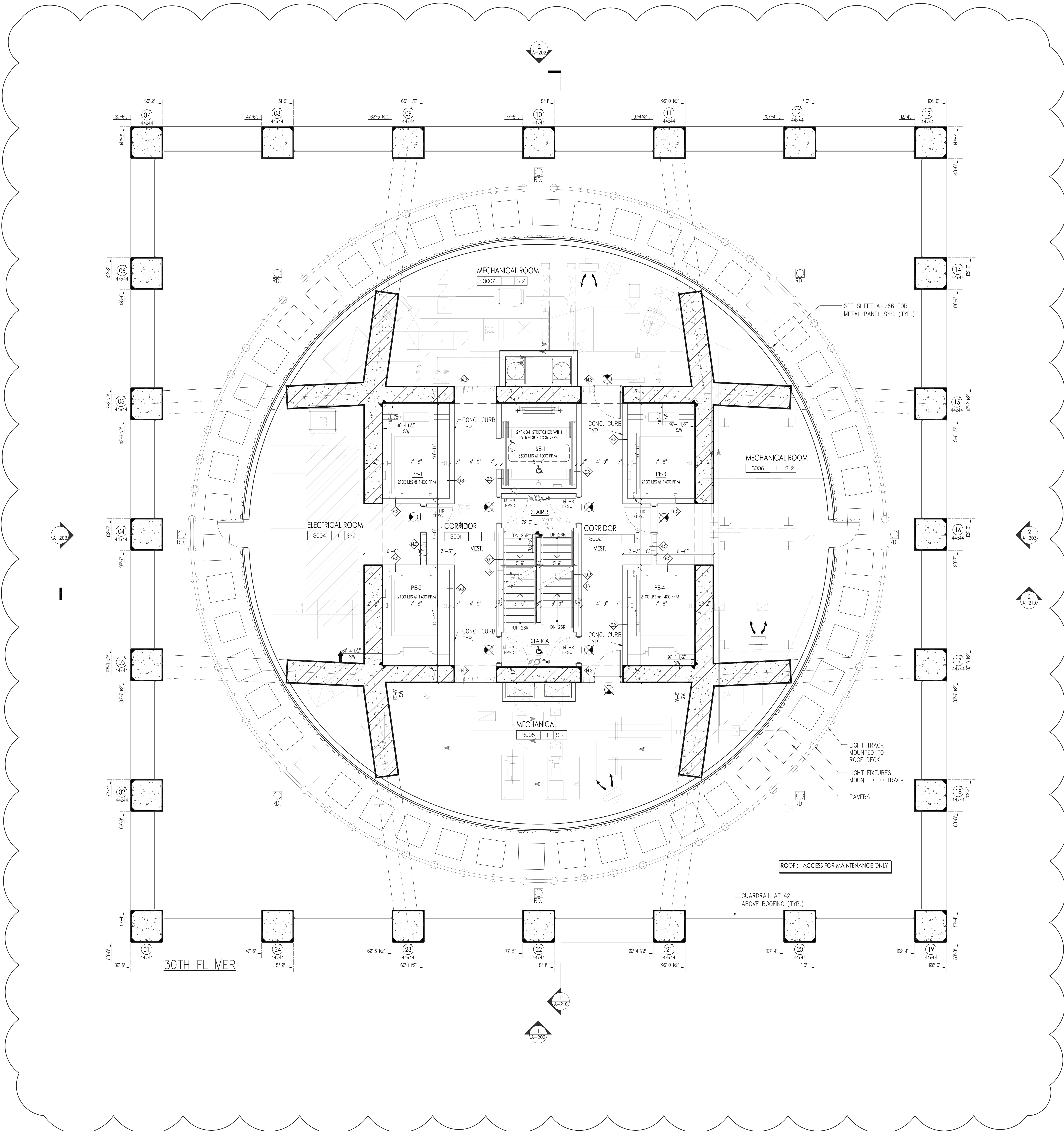
PROJECT:
 OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.
 DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 75 WEST AVENUE
 NEW YORK, NY 10033 TEL: 212.554.9823
 EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400
 DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.9500
 STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 64TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888
 CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682
 M E P ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600
 ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4331
 ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280
 CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 TEL: 212.349.9304
 GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 149 WEST 17TH AVENUE
 NEW YORK, NY 10011 TEL: 917.339.9310



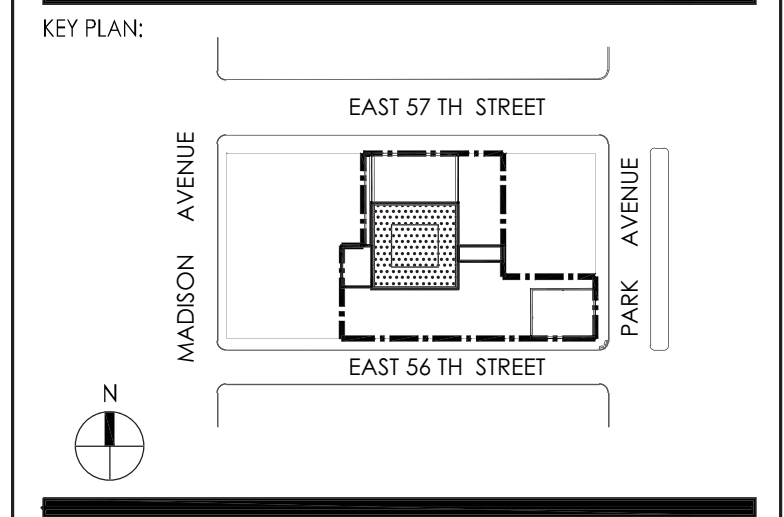
A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



Damian Titus
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub



06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No. Date: Revision:
 SCALE:
 1/4" = 1'-0"

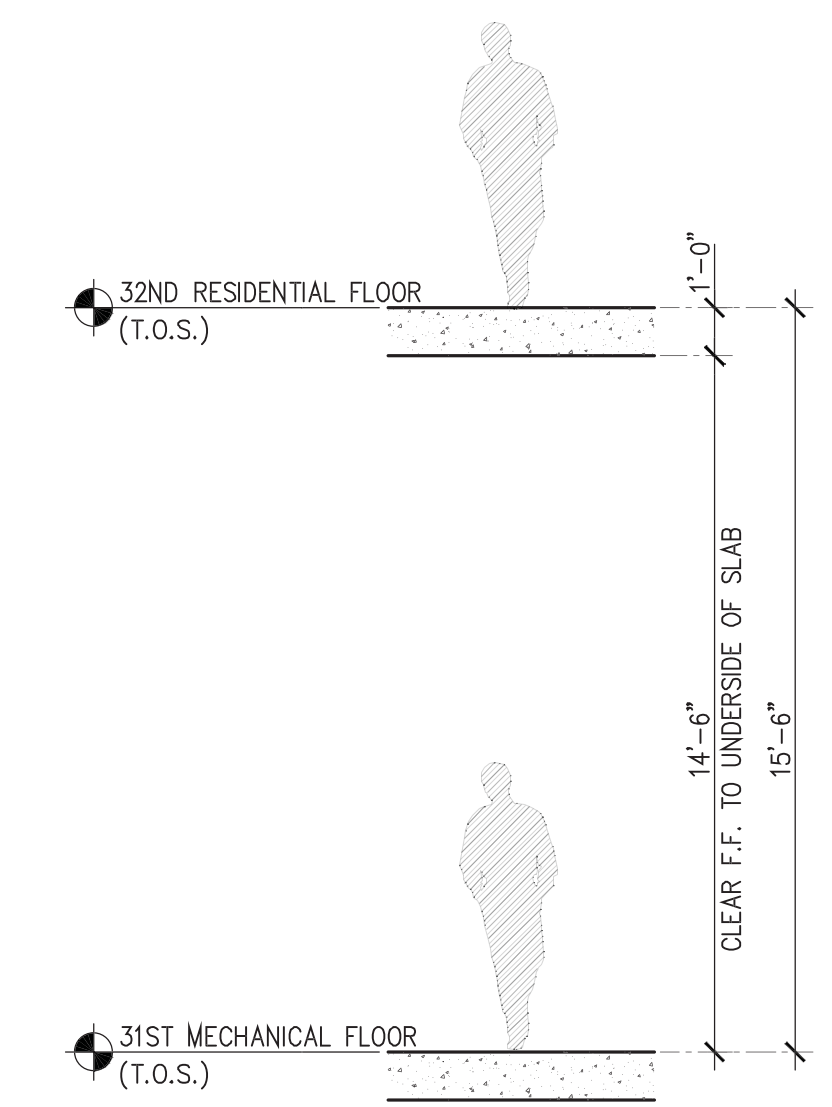


KEY PLAN

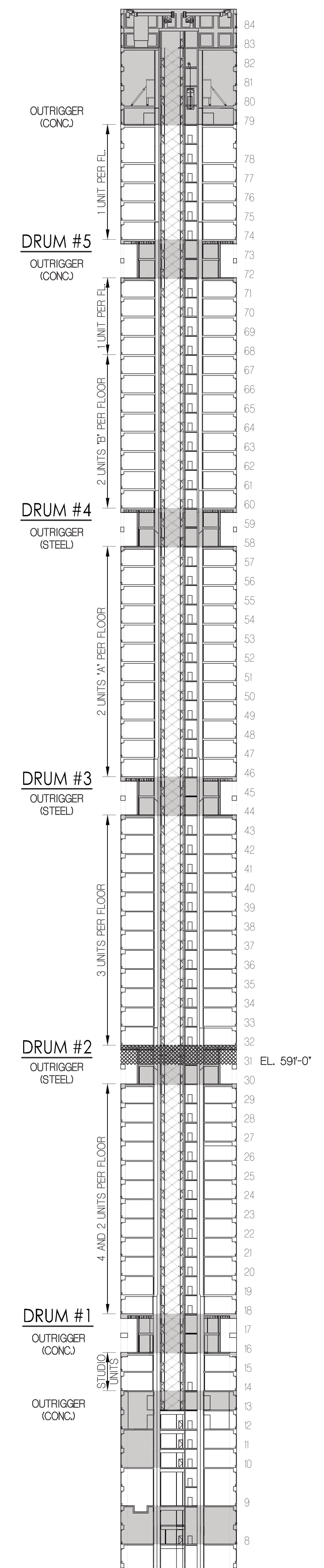
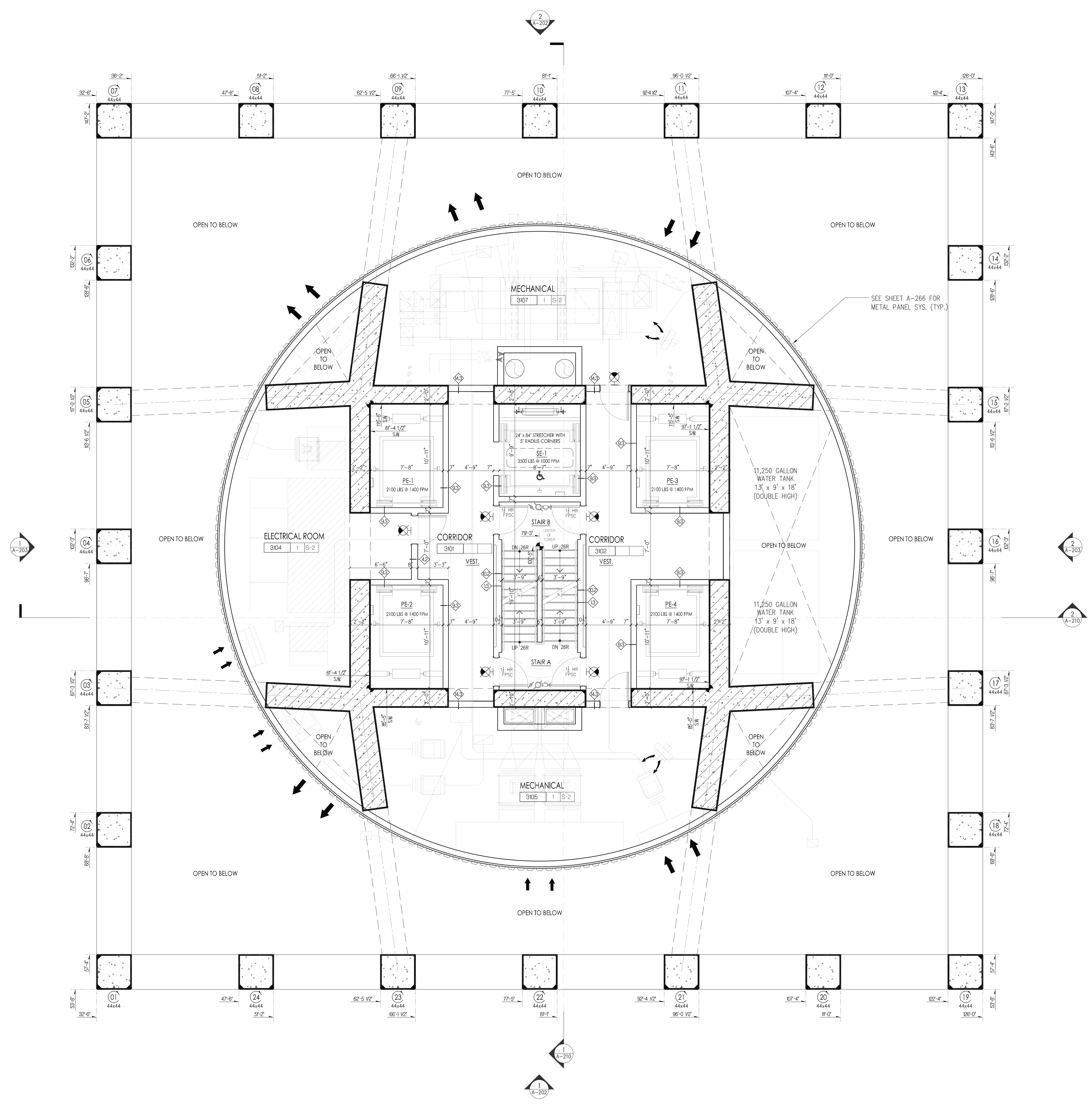
SEAL & SIGNATURE	DATE
DRAWN BY: NP	PROJECT NO: 2010-40
CHECKED BY: CK	
DRAWING NO: A-128.01	
CAD FILE NO:	

440 PARK AVENUE

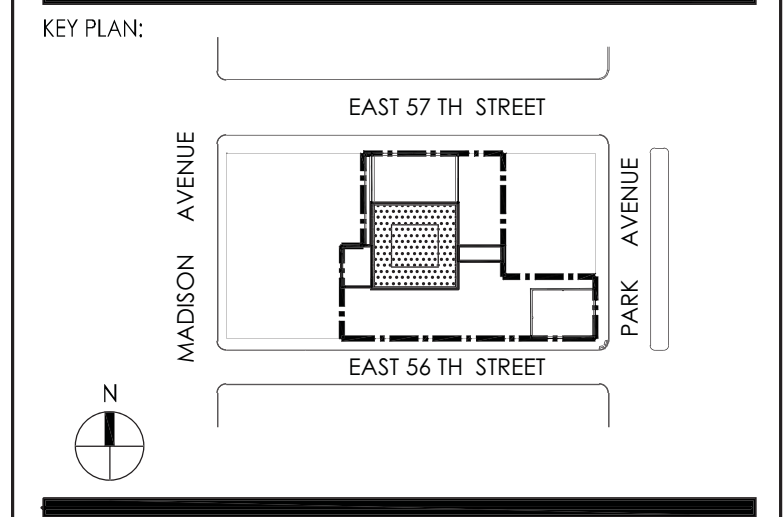
PROJECT:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.
 DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 75 WEST AVENUE
 NEW YORK, NY 10033 TEL: 212.554.5923
 EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400
 DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.9500
 STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 64TH STREET
 NEW YORK, NY 10017 TEL: 212.467.9888
 CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682
 M E P ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600
 ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4351
 ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0290
 CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT:
 TEL: 212.349.9304
 GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 140 WEST 174TH
 NEW YORK, NY 10122 TEL: 917.339.9310



A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No. Date: Revision:
 SCALE:
 1/4" = 1'-0"



Damian Titus
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 NYC Development Hub

**DRUM #2
 31ST FLOOR PLAN
 MECHANICAL**
 SEAL & SIGNATURE: [Signature]
 DATE: 2010-08
 PROJECT NO: NP
 DRAWN BY: CK
 CHECKED BY: CK
 DRAWING NO: A-129.01
 CAD FILE NO: [Blank]

440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 767 5TH AVENUE
 NEW YORK, NY 10019 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.9500

STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 64TH STREET
 NEW YORK, NY 10017 TEL: 212.467.9888

CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

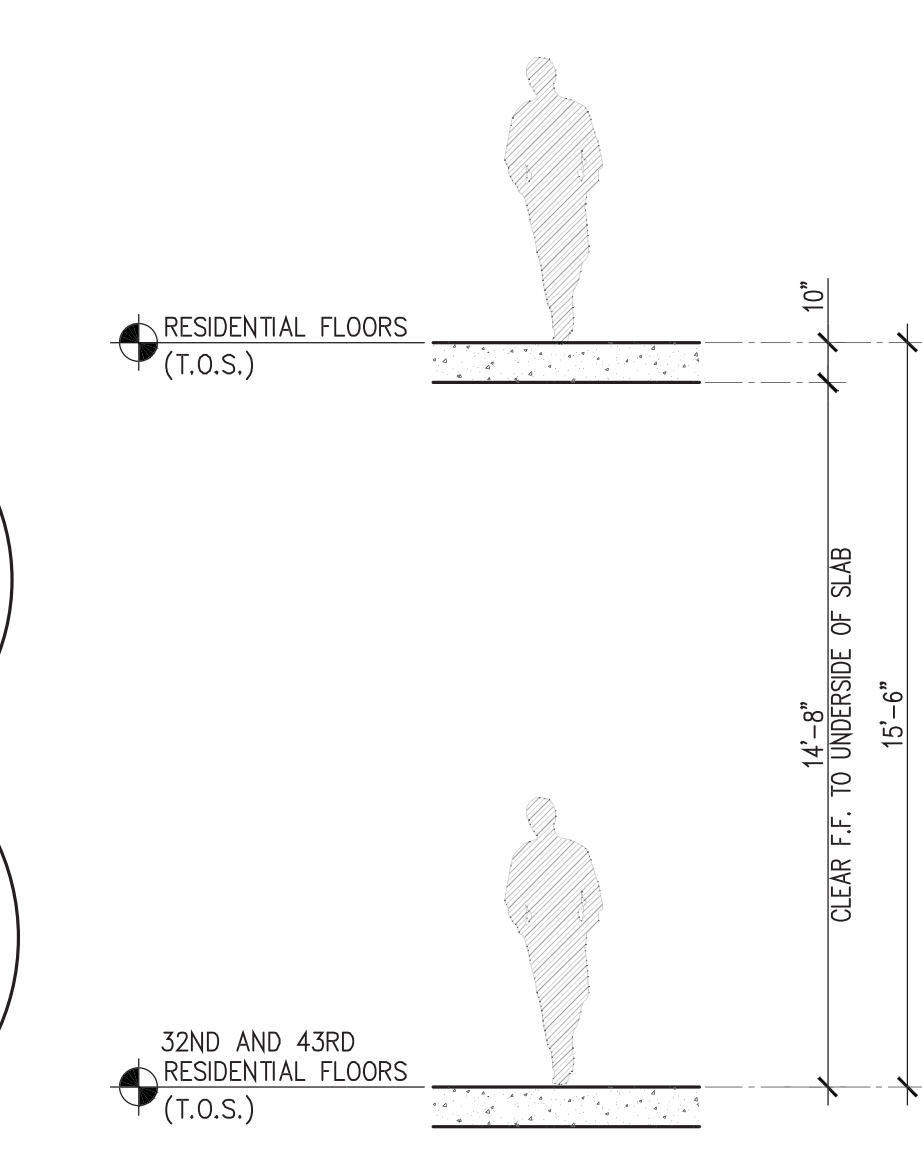
M/E/P ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4351

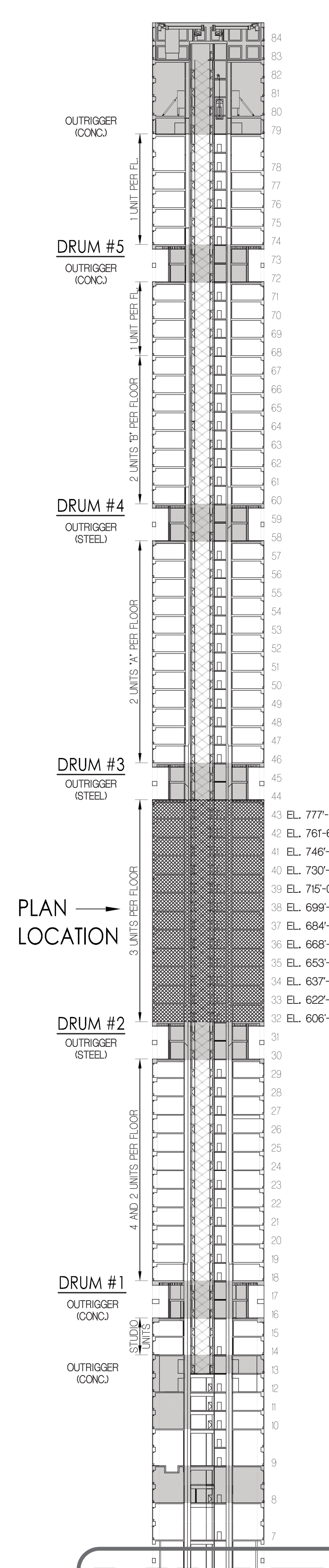
ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 TEL: 212.349.9304

ZONING CONSULTANT:
 GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 147 WEST 11TH STREET
 NEW YORK, NY 10011 TEL: 917.339.9310

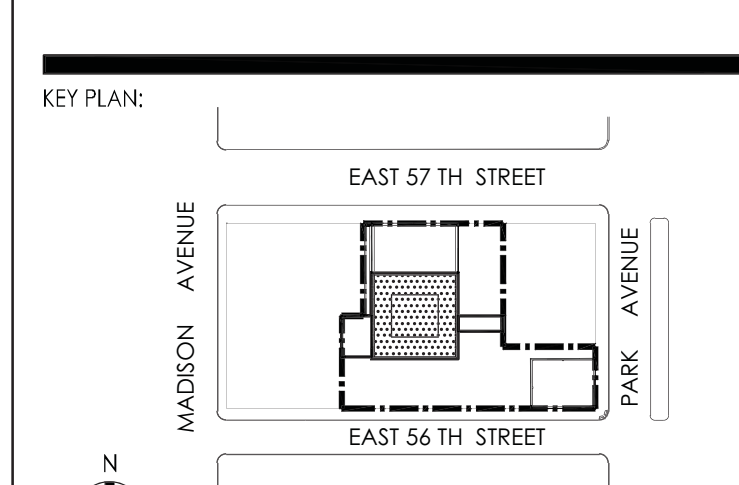


A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



PLAN LOCATION

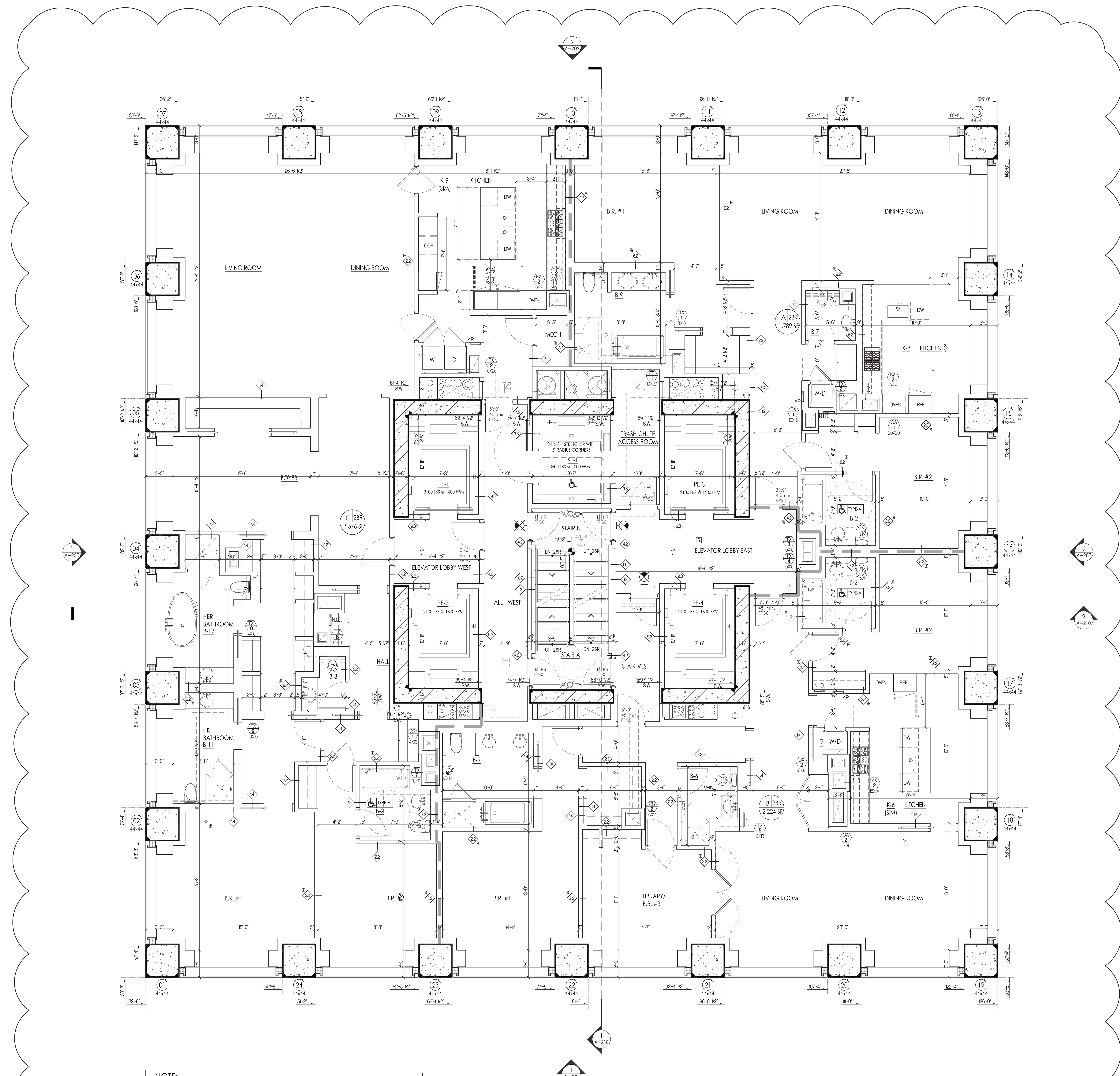
06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No: Date: Revision:
 SCALE:
 1/4" = 1'-0"



DRAWING TITLE:

32ND THROUGH 43RD FLOOR PLAN

SEAL & SIGNATURE: *Damian Titus*
 PROJECT No: 2010-40
 DRAWN BY: NP
 CHECKED BY: CK
 DRAWING No: A-130.01
 DATE/TIME: Jun 27, 2012 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub

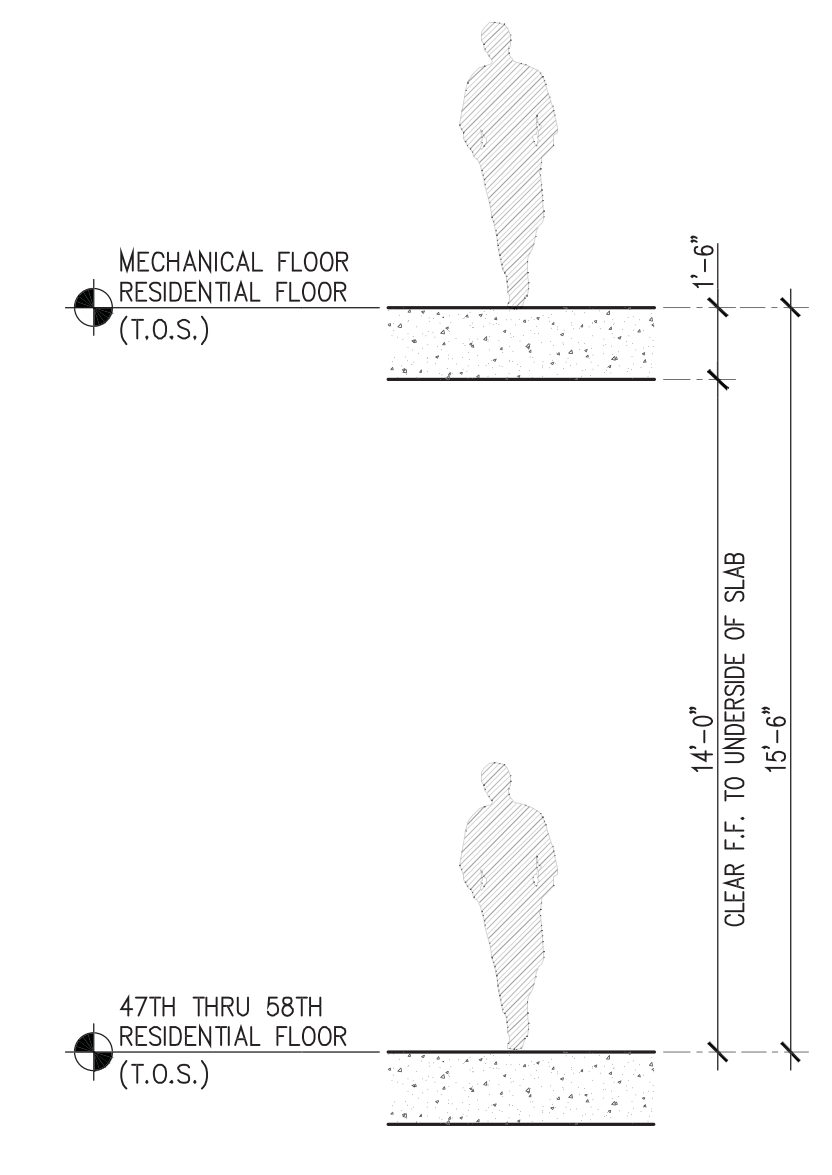


NOTE:
 1. PARTITION TYPE 10.210 TO BE USED FOR ALL KITCHEN AND BATHROOM MECHANICAL EXHAUST RISERS AND OUTSIDE AIR MECHANICAL RISERS.
 2. ALL PARTITIONS TO HAVE SOUND ATTENUATION INSULATION.

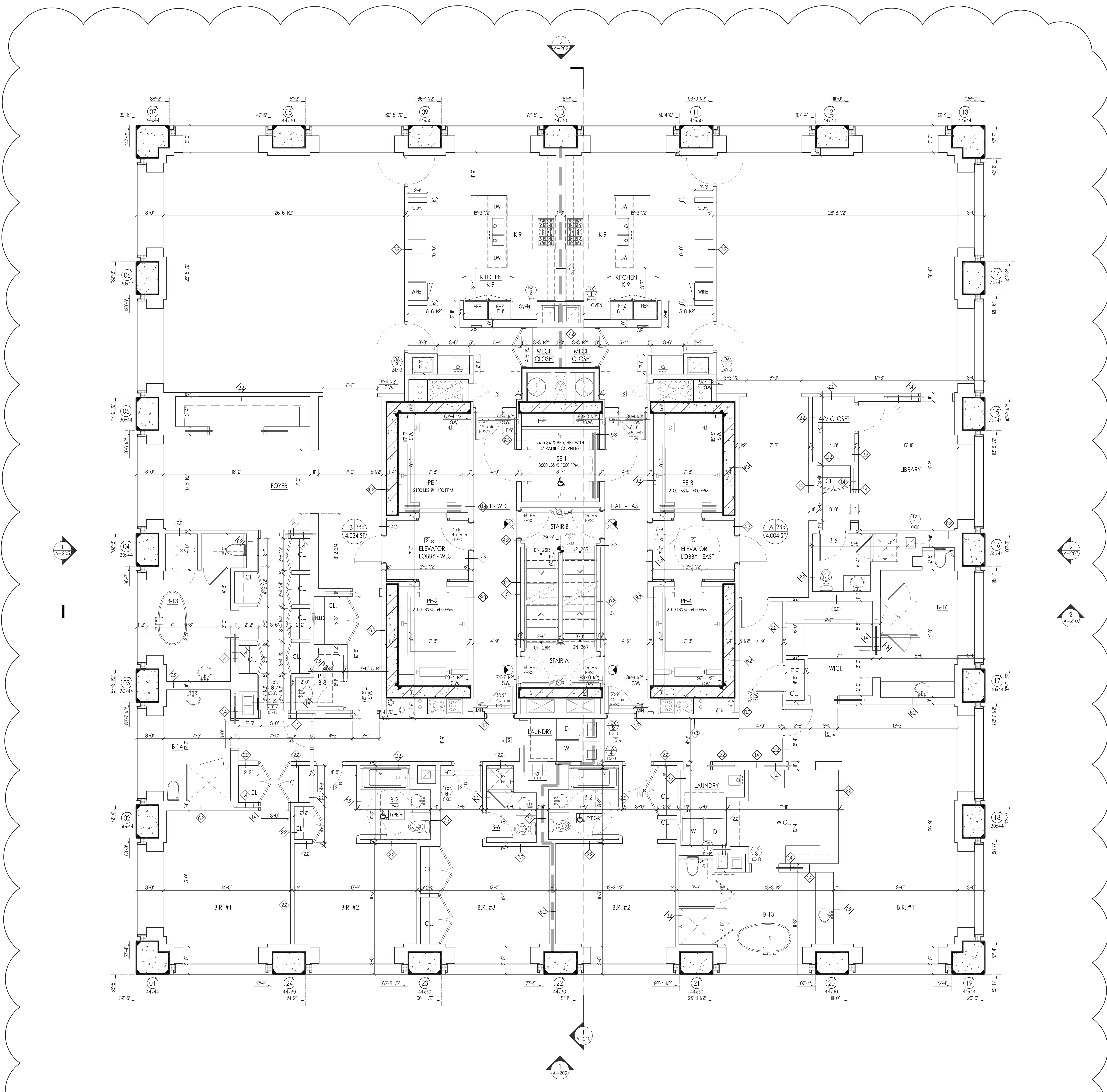
Damian Titus
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub

440 PARK AVENUE

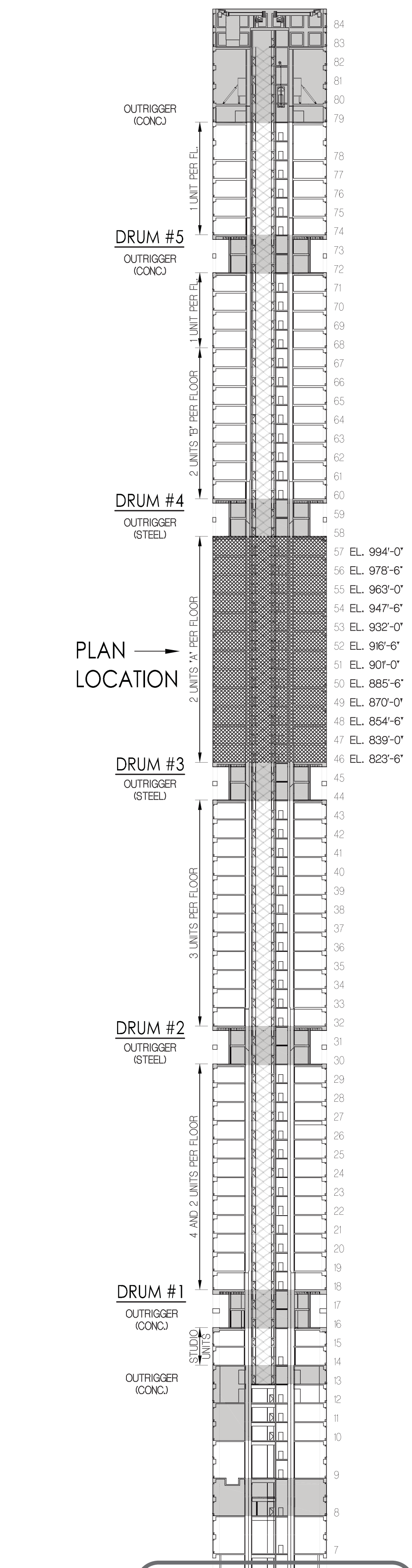
PROJECT:
 OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.
 DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 767 5TH AVENUE
 NEW YORK, NY 10019 TEL: 212.554.9823
 EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400
 DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.944.9500
 STRUCTURAL ENGINEER:
 WSP CANTOR SEUNK
 228 EAST 67TH STREET
 NEW YORK, NY 10017 TEL: 212.667.9888
 CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 5TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682
 M/E ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600
 ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4531
 ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280
 CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 TEL: 212.349.9304
 ZONING CONSULTANT:
 GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 147 WEST 174TH
 NEW YORK, NY 10122 TEL: 917.339.9310



FLOOR HEIGHT DIAGRAM
 SCALE: 1/4" = 1'-0"

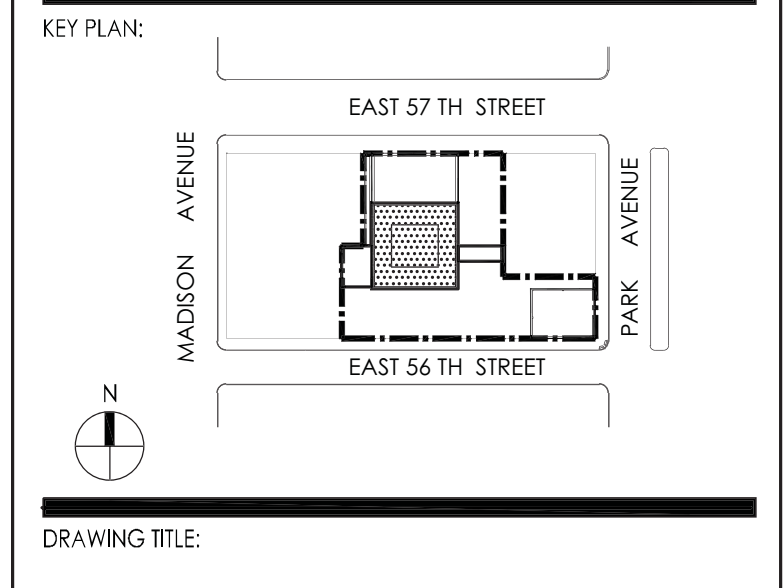


NOTE:
 1. PARTITION TYPE 10.210 TO BE USED FOR ALL KITCHEN AND BATHROOM MECHANICAL EXHAUST RISERS AND OUTSIDE AIR MECHANICAL RISERS.
 2. ALL PARTITIONS TO HAVE SOUND ATTENUATION INSULATION.



Seal and signature of **Damian Titus**, Registered Architect, State of New York. Includes project information and date: Date Plotted: Jun 27, 2012 - 11:57 AM.

06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No. Date: Revision:
 SCALE:
 1/4" = 1'-0"



46TH THROUGH 57TH FLOOR PLAN
 SEAL & SIGNATURE: PROJECT No: 2010-40
 DRAWN BY: NP
 CHECKED BY: CK
 DRAWING No: A-133.01
 DATE: 06/27/12
 TIME: 11:57 AM

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 5TH AVENUE
NEW YORK, NY 10013 TEL: 212.554.5923

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL: 212.924.9500

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 64TH STREET
NEW YORK, NY 10017 TEL: 212.467.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3682

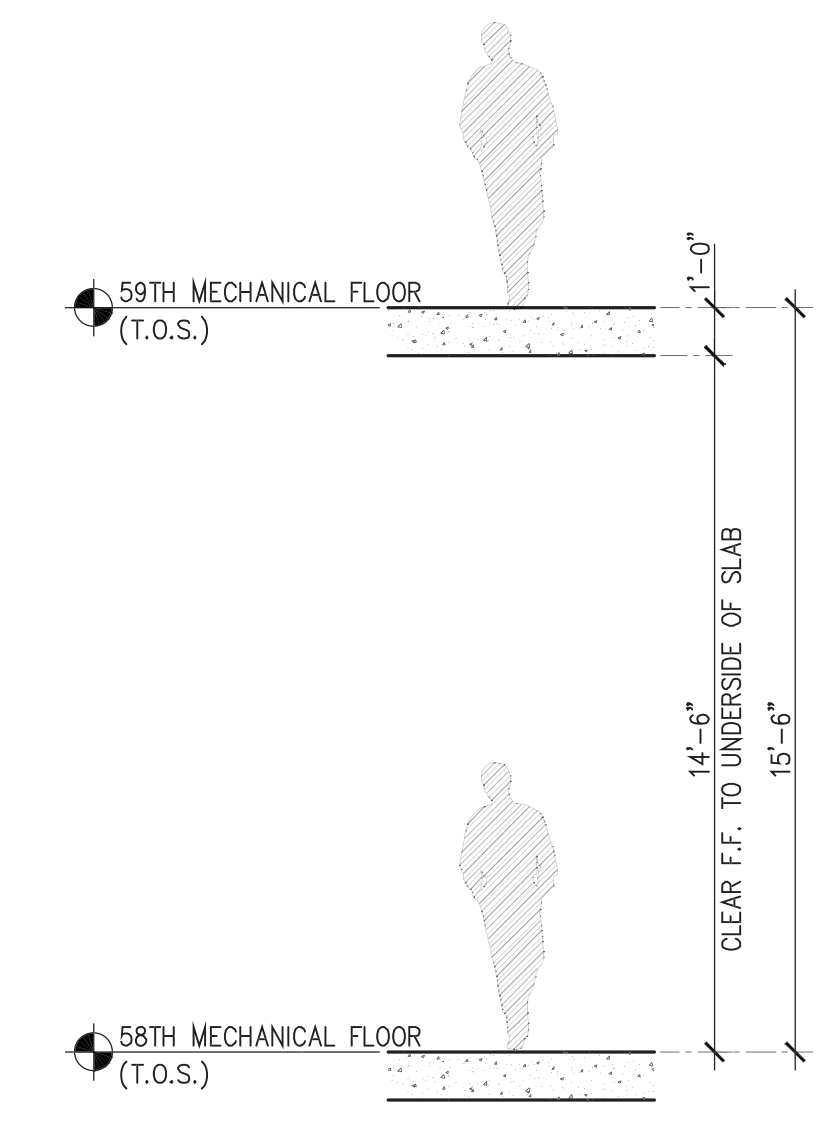
M/E/P ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4351

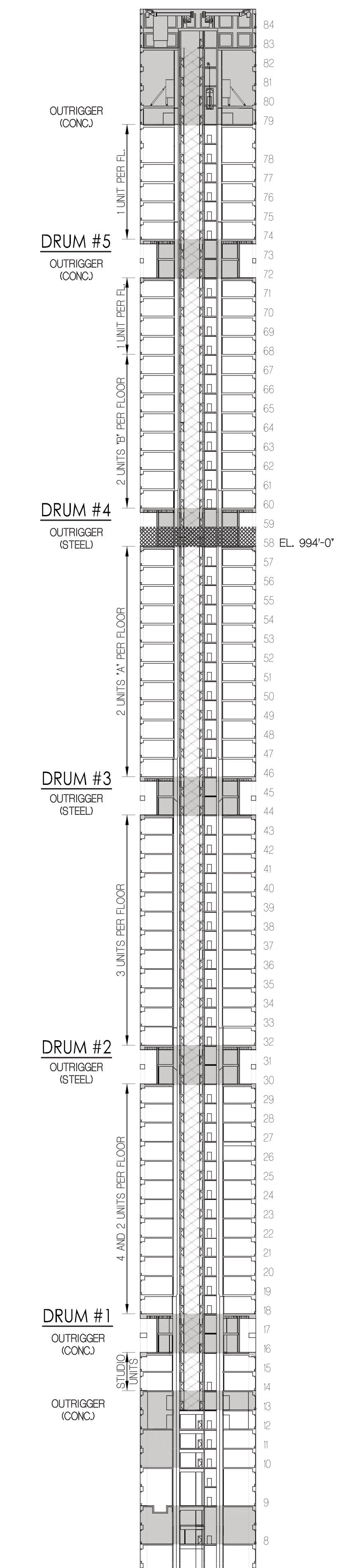
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10024 TEL: 212.714.0290

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL: 212.349.9304

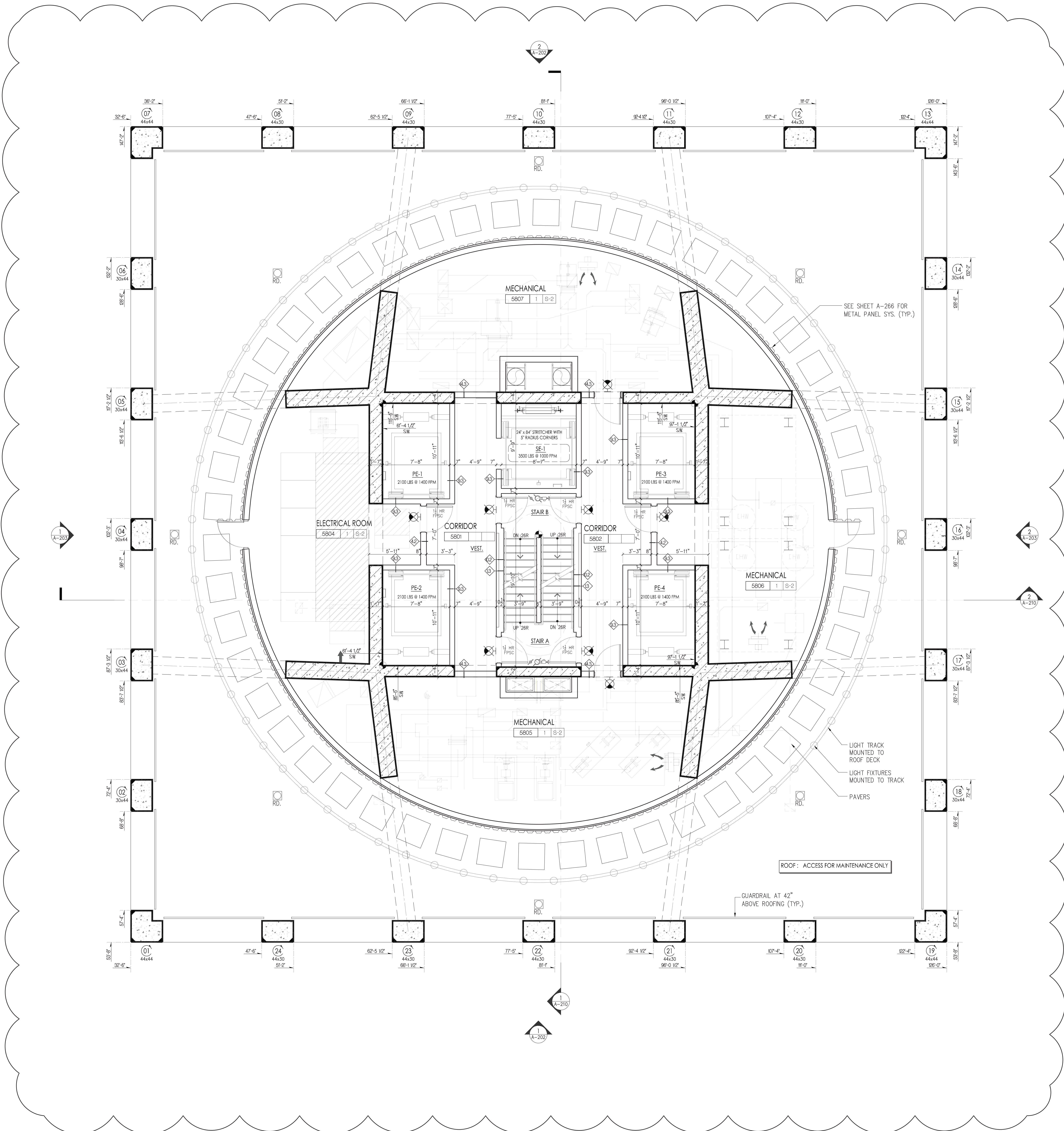
GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
140 WEST 34TH STREET
NEW YORK, NY 10018 TEL: 917.339.9310



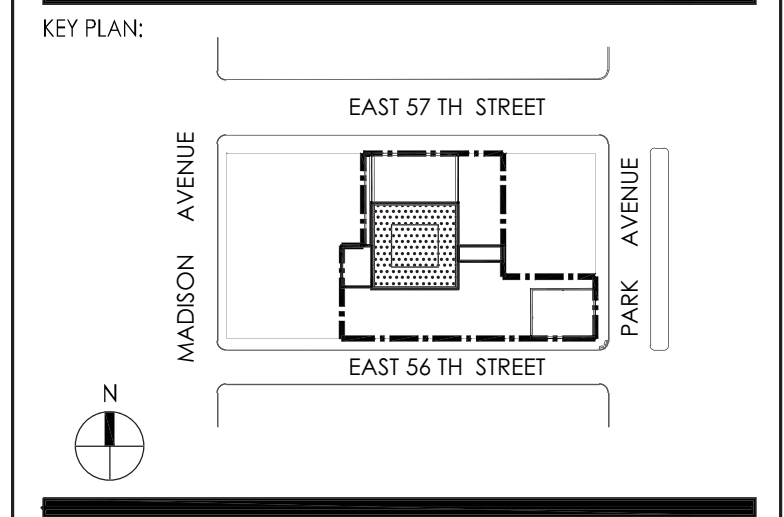
A FLOOR HEIGHT DIAGRAM
SCALE: N.T.S.



Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
FLOOR LOCATION DIAGRAM
NYC Development Hub



06.01.2012 FAA
10.25.2011 DOB SUBMITTAL
No. Date: Revision:
SCALE:
1/4" = 1'-0"



**DRUM #4
58TH FLOOR PLAN
MECHANICAL**

SEAL & SIGNATURE	DATE
<i>[Signature]</i>	PROJECT NO: 2010-40
	DRAWN BY: NP
	CHECKED BY: CK
	DRAWING NO: A-134.01
	CAD FILE NO:

440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 75 WEST AVENUE
 NEW YORK, NY 10033 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.9040

STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 67TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

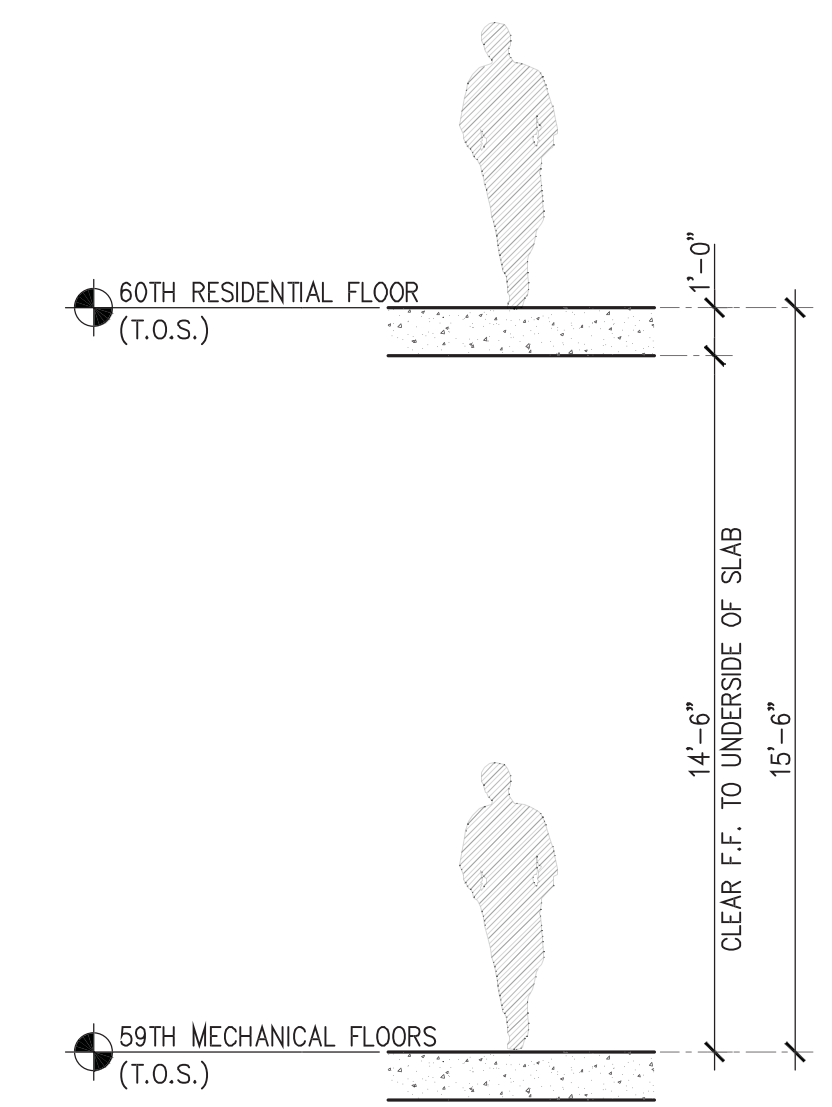
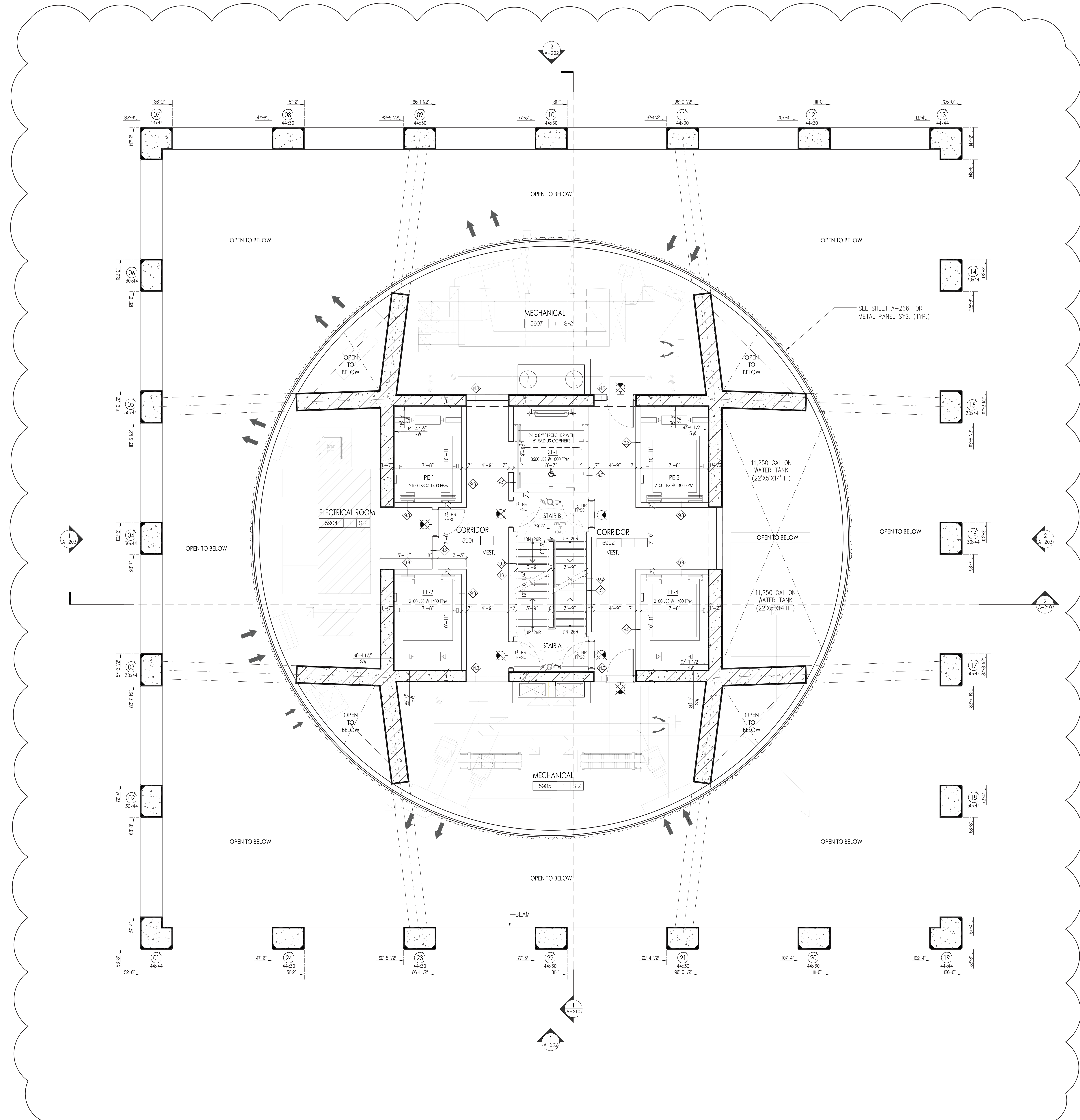
M/E ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4331

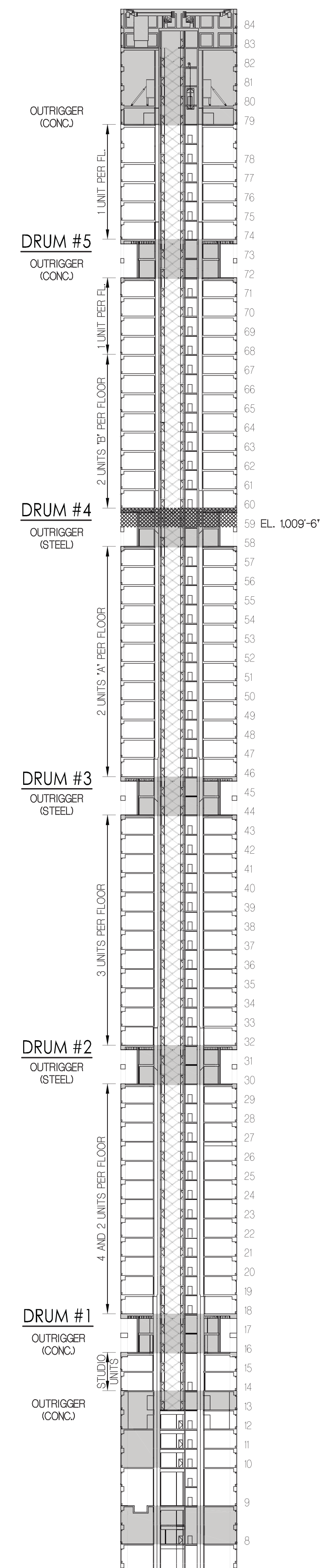
ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
 JEROMES S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT:
 TEL: 212.349.9304

GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 140 WEST 17TH AVENUE
 NEW YORK, NY 10011 TEL: 917.339.9310



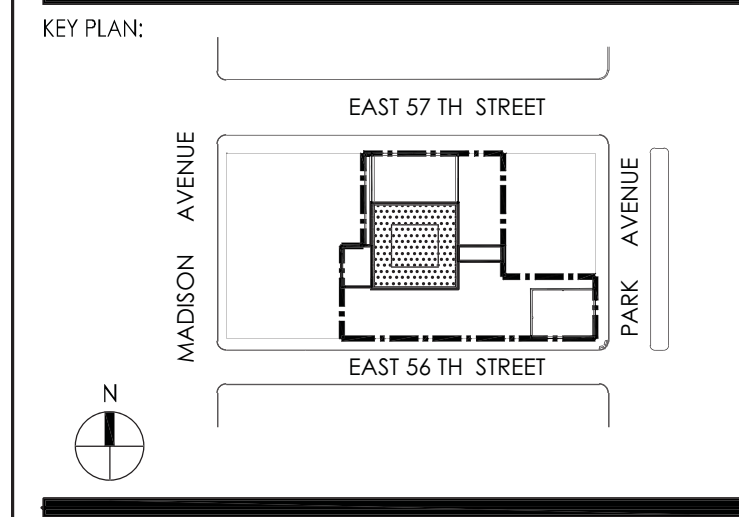
A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



B

Damian Titus
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub

06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No: Dots: Revision:
 SCALE:
 1/4" = 1'-0"



DRUM #4
59TH FLOOR PLAN
MECHANICAL

SEAL & SIGNATURE: [Signature]
 DATE: 2010-08
 DRAWN BY: NP
 CHECKED BY: CK
 DRAWING NO: A-135.01
 CAD FILE NO: [Blank]

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
 C/O
McGraw Hudson Constr. Corp.

DEVELOPER:
McGraw Hudson Constr. Corp.
 75 WEST AVENUE
 NEW YORK, NY 10033 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.914.9040

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
 228 EAST 64TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

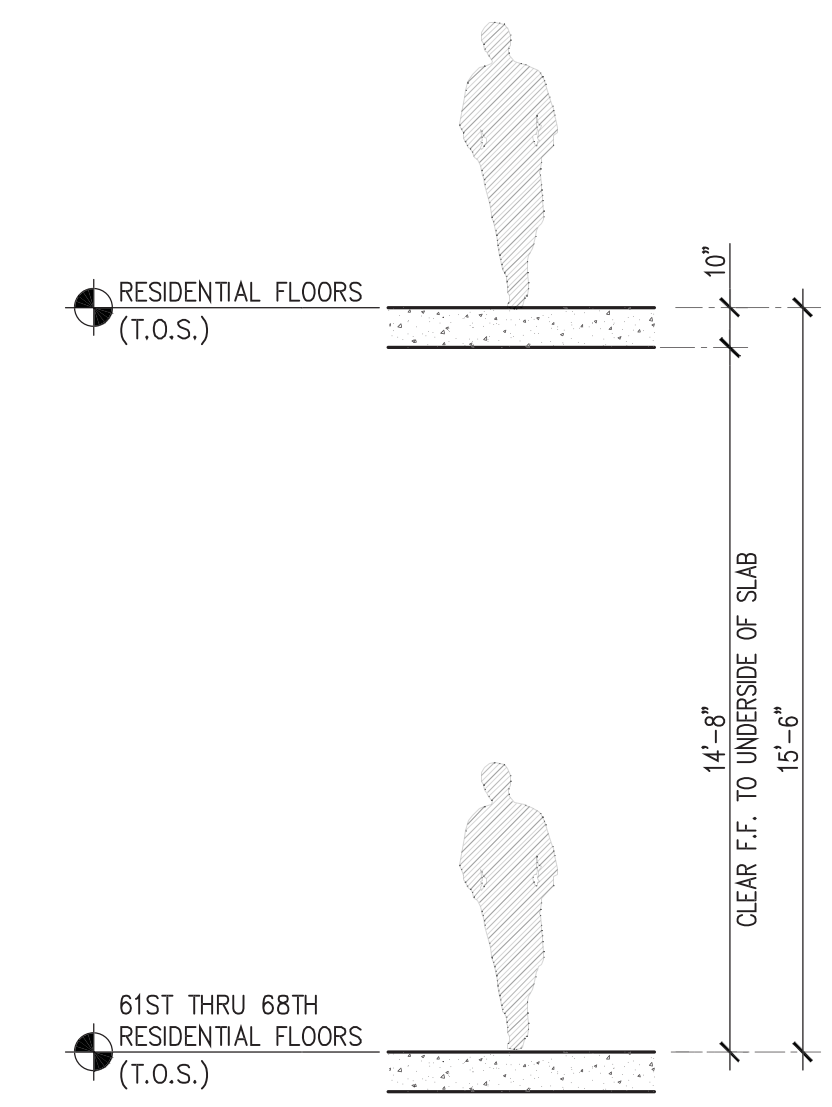
M/E ENGINEER:
WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4531

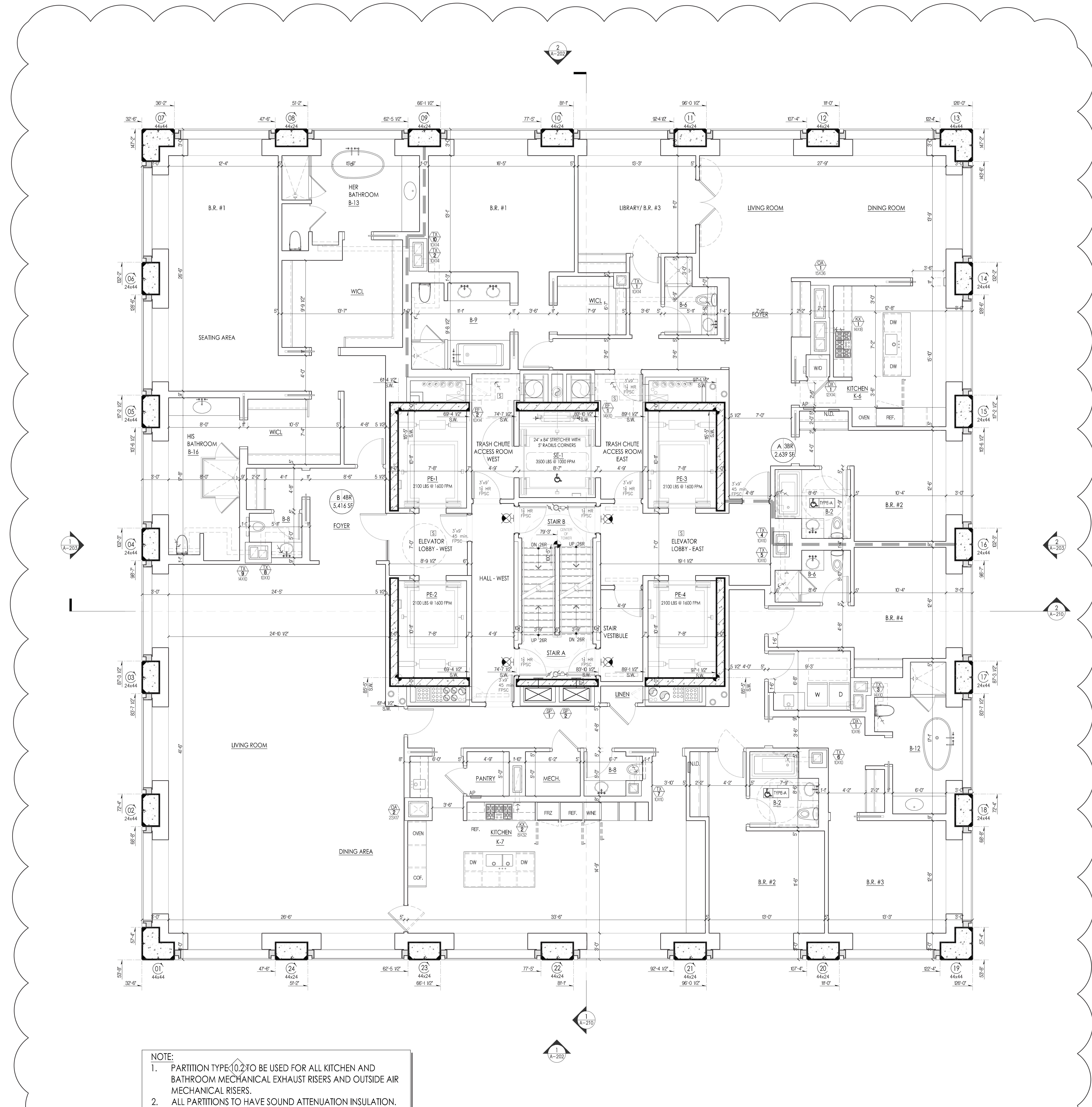
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10036 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT:
 TEL: 212.349.9304

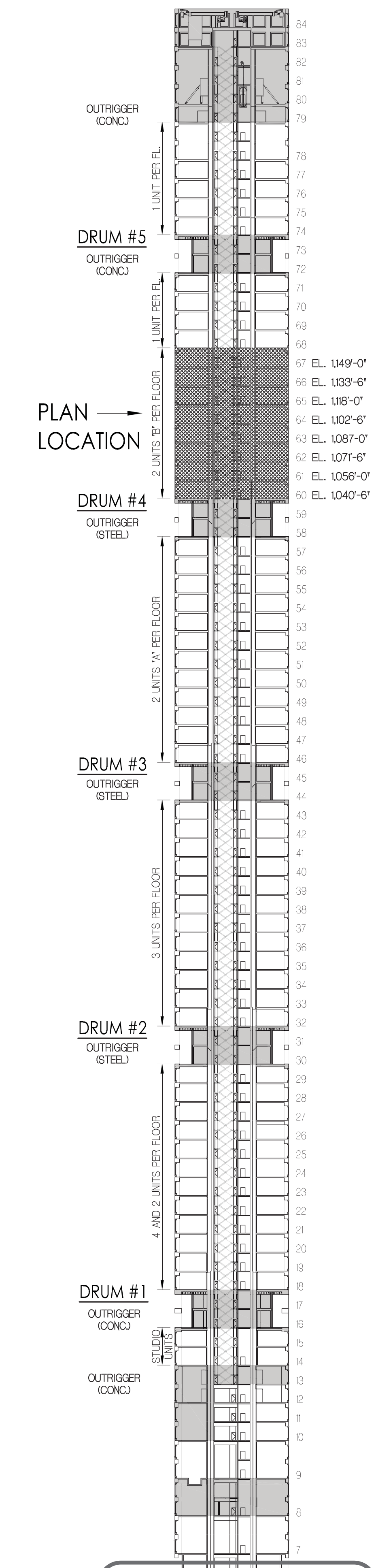
GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
 147 WEST 17TH STREET
 NEW YORK, NY 10011 TEL: 917.339.9310



A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



NOTE:
 1. PARTITION TYPE 10.210 TO BE USED FOR ALL KITCHEN AND BATHROOM MECHANICAL EXHAUST RISERS AND OUTSIDE AIR MECHANICAL RISERS.
 2. ALL PARTITIONS TO HAVE SOUND ATTENUATION INSULATION.



Damian Titus
 ARCHITECT

APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION

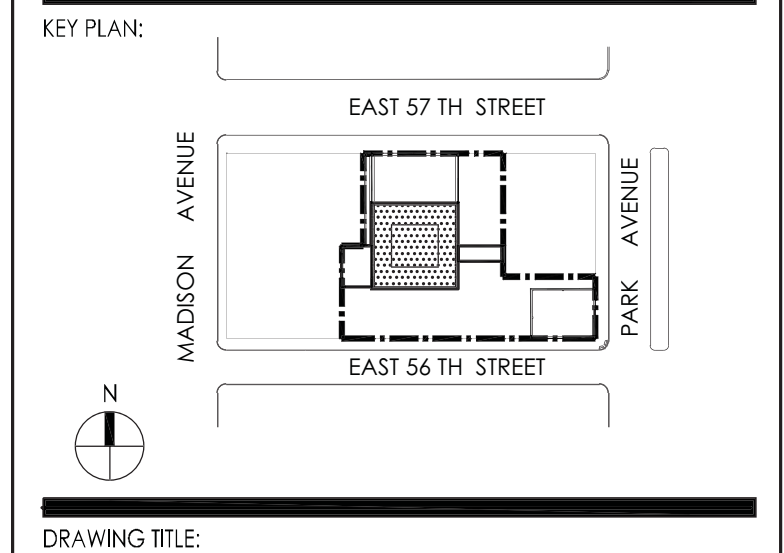
Date/Time: Jun 27, 2012 - 11:57 AM

NYC Development Hub

06.01.2012 PAAs
 10.25.2011 DOB SUBMITTAL

No. Date: Revision:

SCALE:
 1/4" = 1'-0"



DRAWING TITLE:
60TH THROUGH 67TH FLOOR PLAN

SEAL & SIGNATURE: **Damian Titus**

PROJECT No: 2010-40

DRAWN BY: NP

CHECKED BY: CK

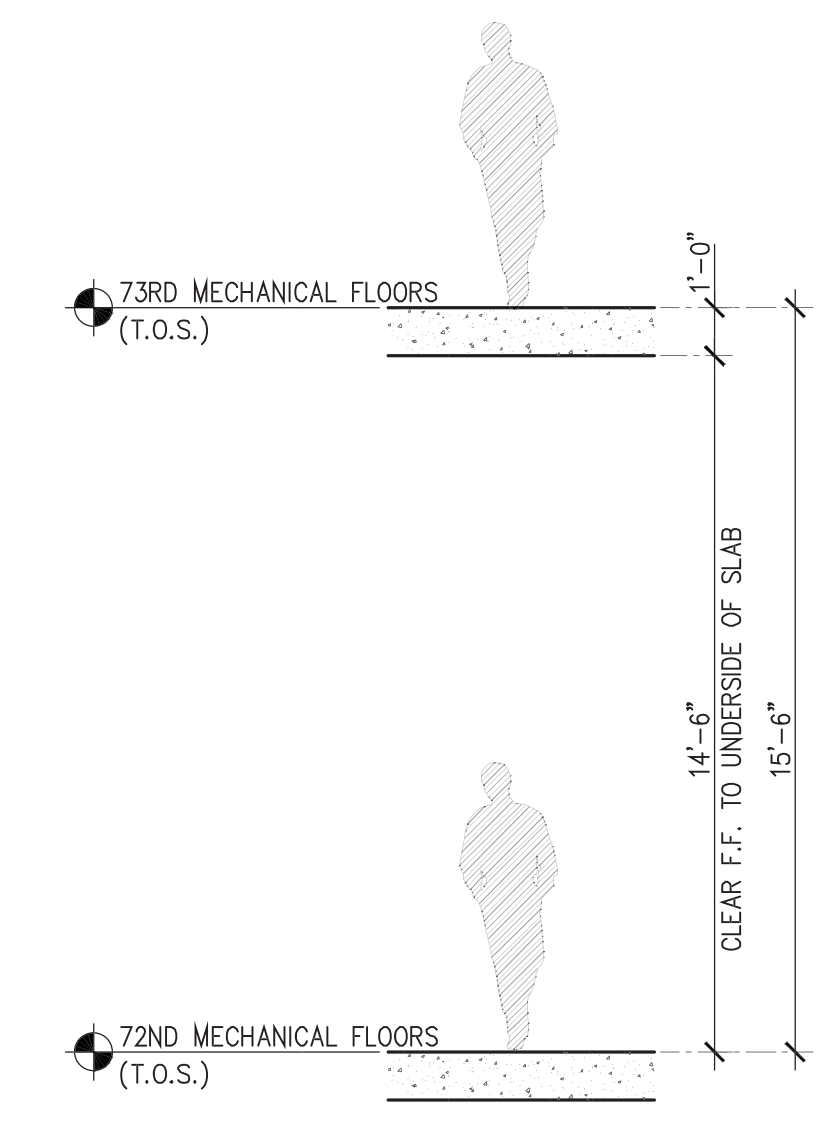
DRAWING No: A-136.01

DATE: 06/27/12

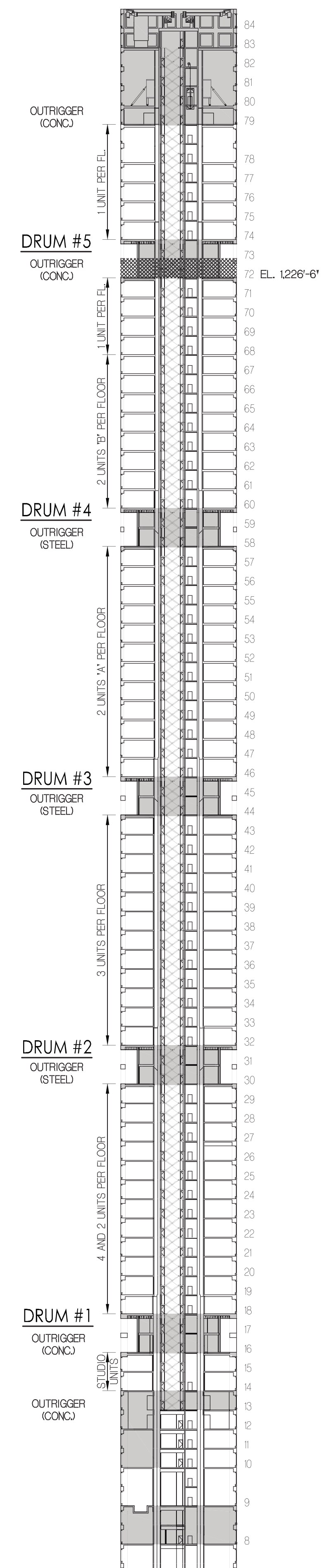
SCALE: 1/4" = 1'-0"

440 PARK AVENUE

PROJECT:
 OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.
 DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 75 5TH AVENUE
 NEW YORK, NY 10013 TEL: 212.554.5923
 EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400
 DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.9500
 STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 64TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888
 CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 5TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682
 M E P ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600
 ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4351
 ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280
 CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 TEL: 212.349.9304
 GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 14 FIFTH AVENUE
 NEW YORK, NY 10011 TEL: 917.339.9310

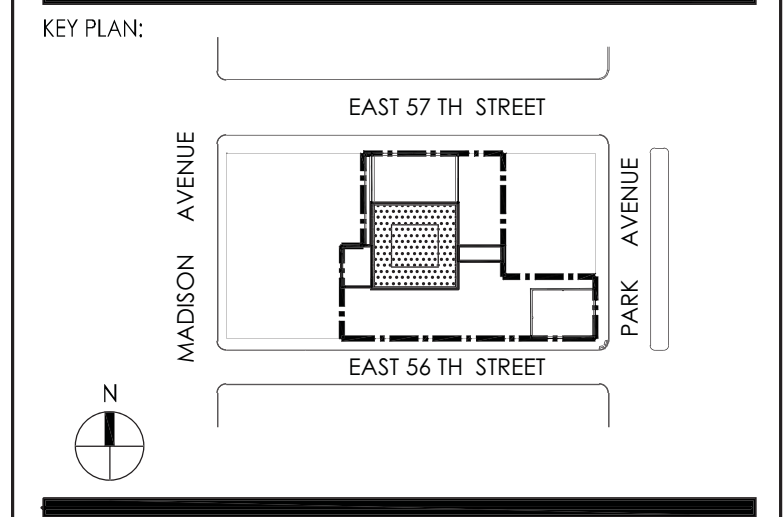


A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



Damian Titus
 ARCHITECT
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub

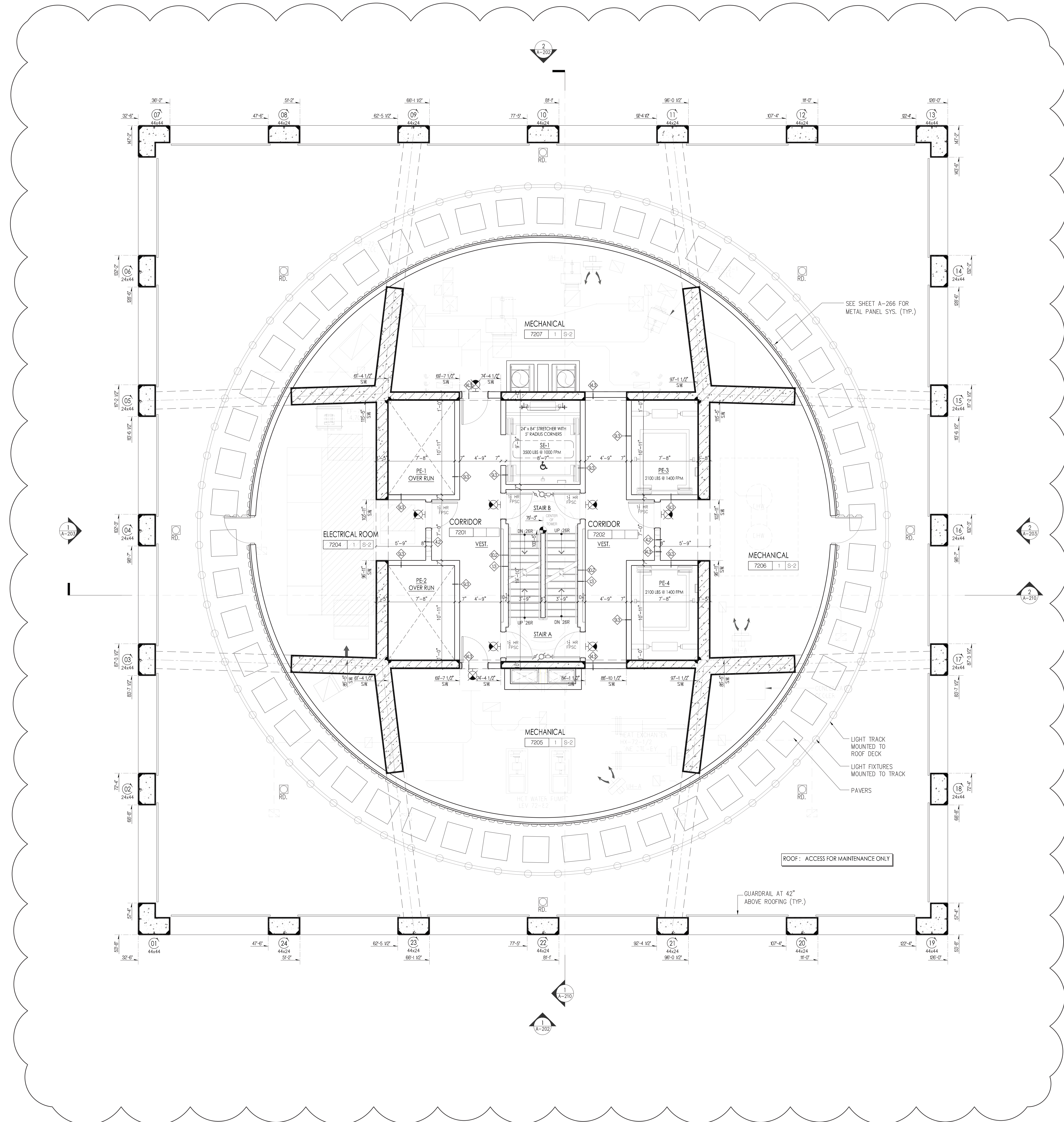
06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No. Dots: Revision:
 SCALE:
 1/4" = 1'-0"



DRAWING TITLE: **DRUM #5 72ND FLOOR PLAN MECHANICAL**

SEAL & SIGNATURE	DATE
DRAWN BY: NP	PROJECT NO: 2010-40
CHECKED BY: CK	
DRAWING NO:	
CAD FILE NO:	

APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub



440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 75 WEST AVENUE
 NEW YORK, NY 10033 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.9040

STRUCTURAL ENGINEER:
 WSP CANTOR SENUK
 228 EAST 64TH STREET
 NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

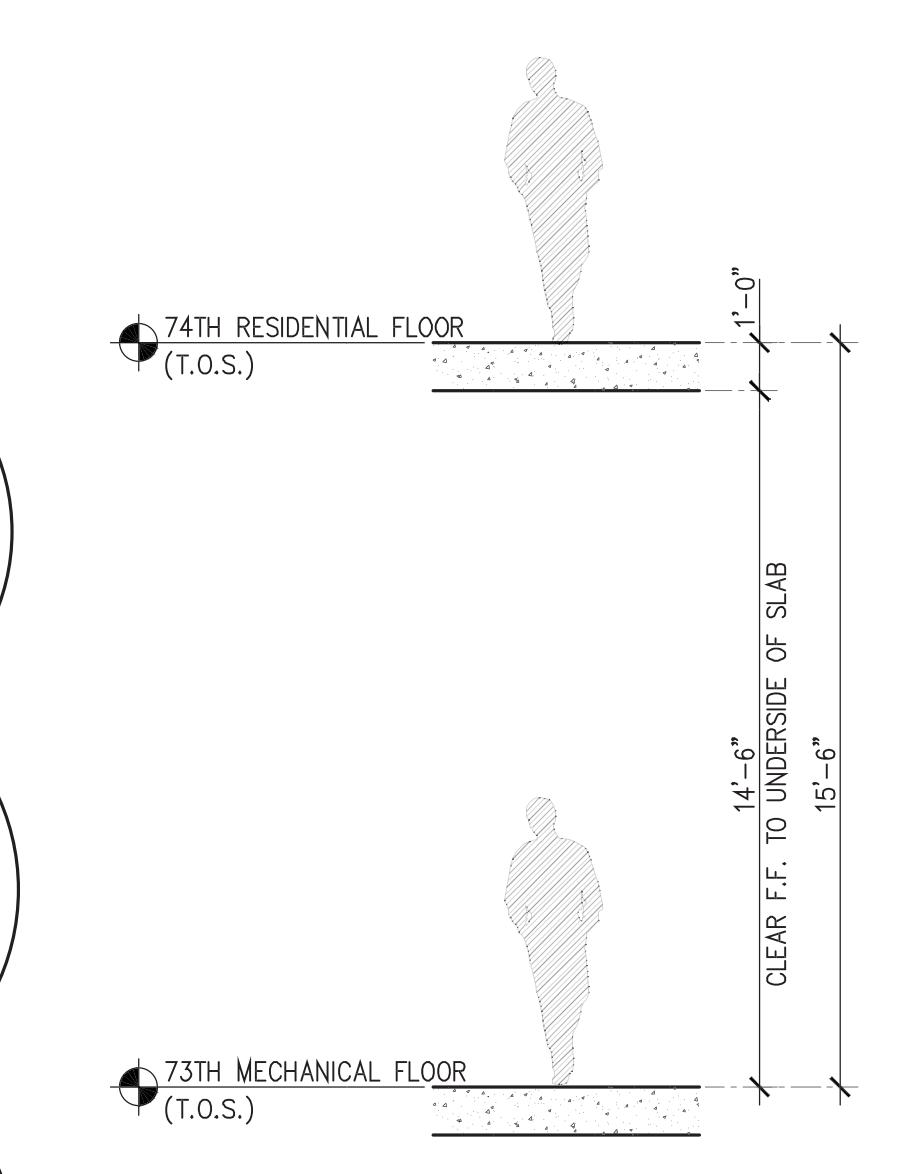
M E P ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4331

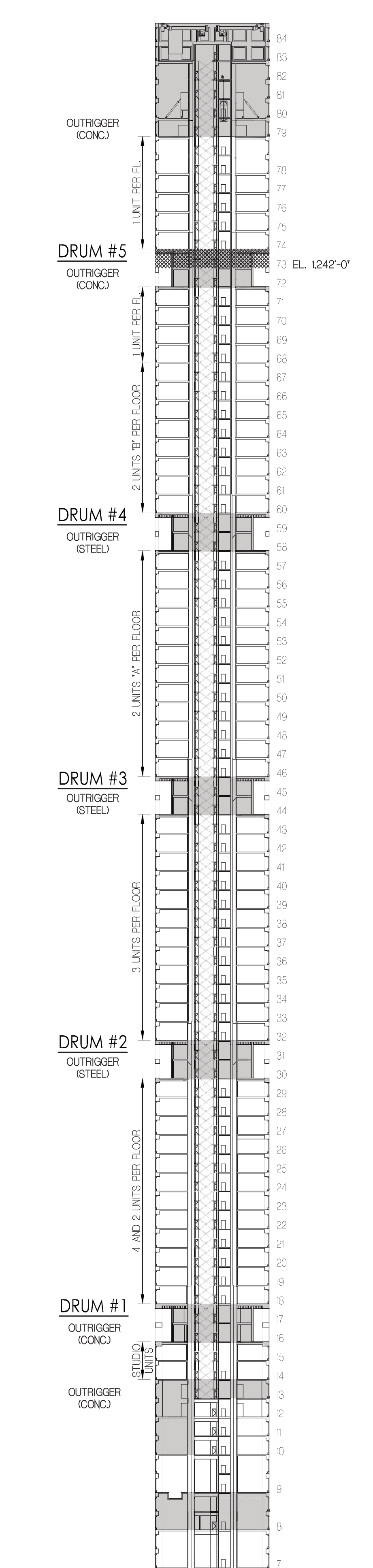
ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0290

CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 ZONING CONSULTANT:
 TEL: 212.349.9304

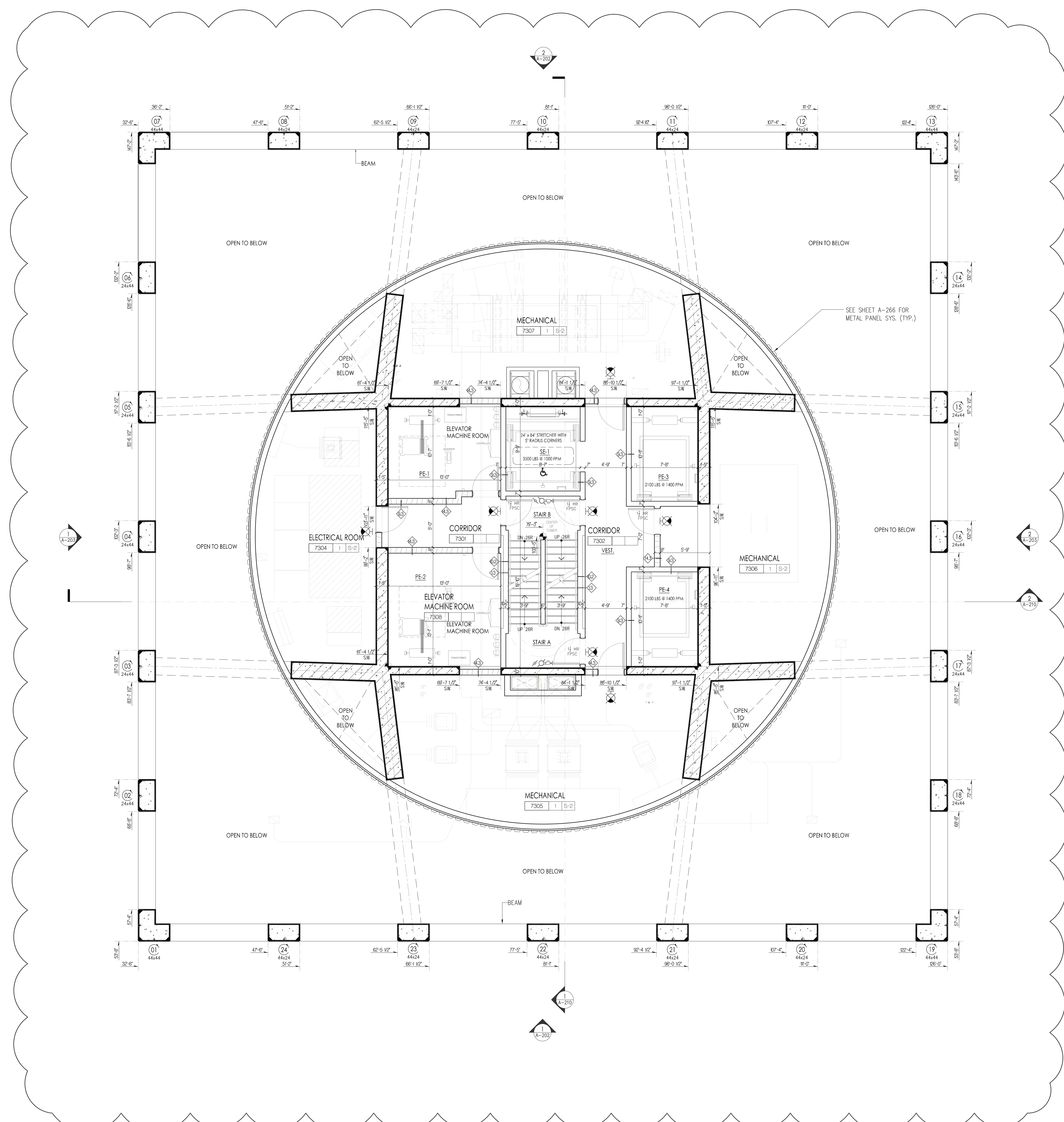
GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 140 WEST 17TH AVENUE
 NEW YORK, NY 10011 TEL: 917.339.9310



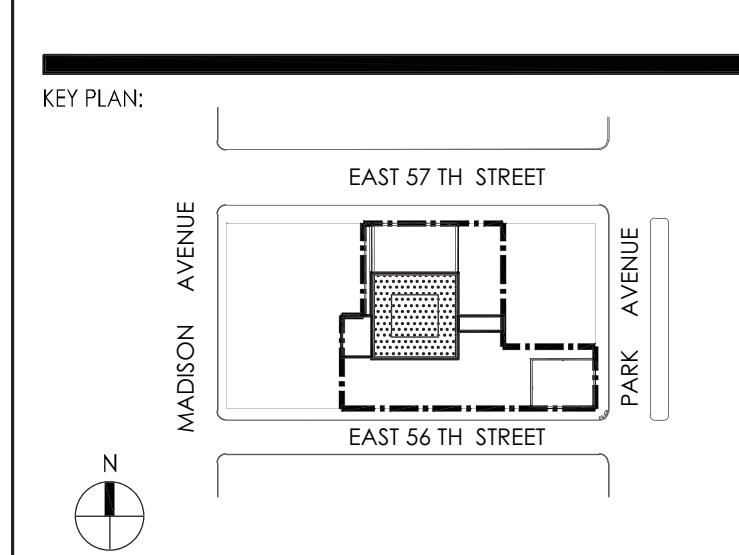
A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



Damian Titus
 ARCHITECT
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub



06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No. Date: Revision:
 SCALE:
 1/4" = 1'-0"



DRAWING TITLE: **DRUM #5
 73RD FLOOR PLAN
 MECHANICAL**

SEAL & SIGNATURE	DATE
<i>[Signature]</i>	2010-40
DRAWN BY: NP	CHECKED BY: CK
DRAWING NO: A-139.01	CADD FILE NO:

PROJECT:
440 PARK AVENUE

OWNER:
 440 PARK AVE (NY) OWNER, LLC
 C/O
 MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
 MCGRAW HUDSON CONSTR. CORP.
 75 WEST END STREET
 NEW YORK, NY 10013 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
 SLICE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10013 TEL: 212.979.8400

DESIGN ARCHITECT:
 RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.5040

STRUCTURAL ENGINEER:
 WSP CANTOR SEUNK
 228 EAST 67TH STREET
 NEW YORK, NY 10017 TEL: 212.467.9888

CONSULTING STRUCTURAL ENGINEER:
 SCHLAICH BERGERMANN AND PARTNER LP
 554 5TH AVENUE
 NEW YORK, NY 10019 TEL: 212.255.3682

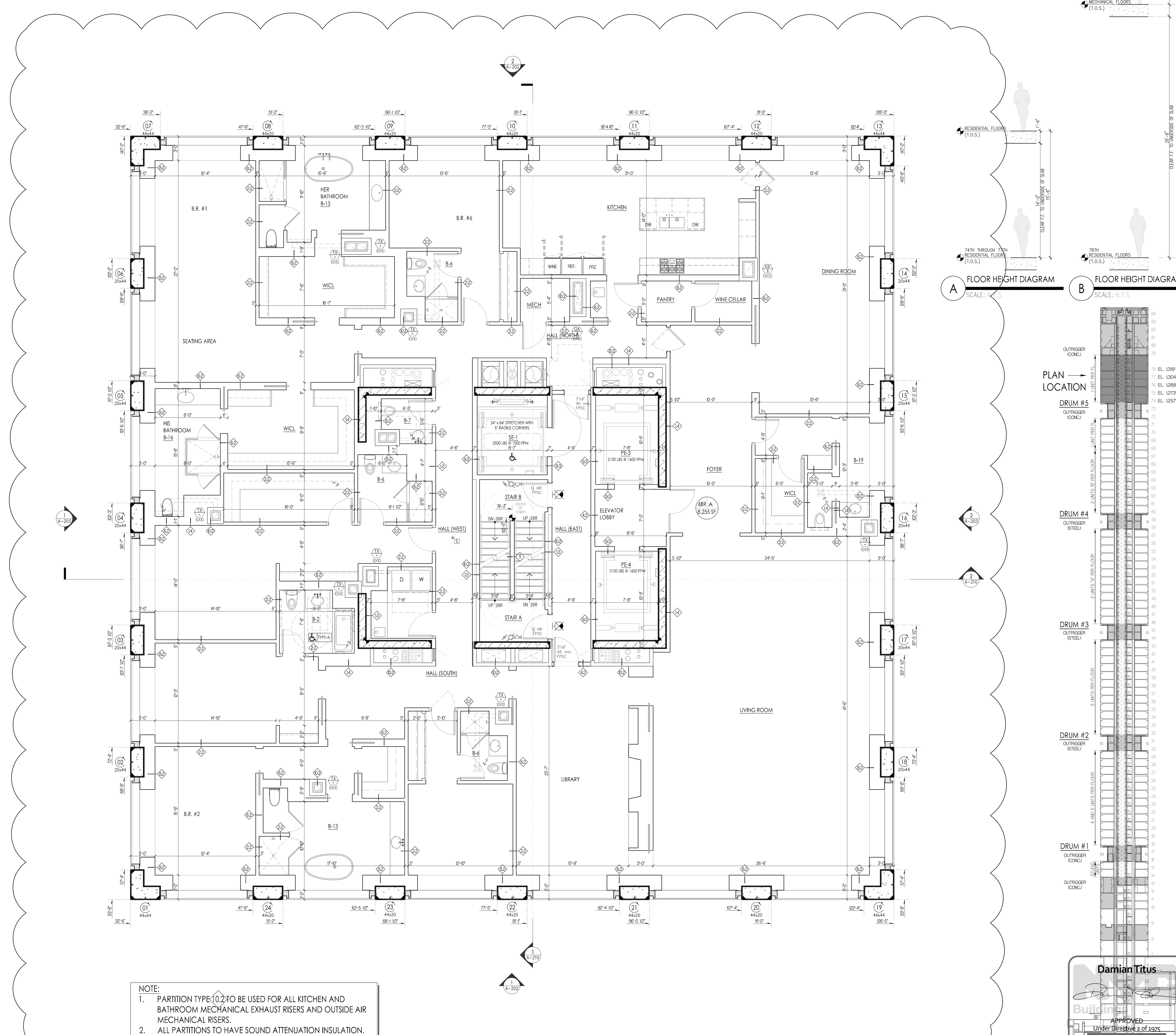
M.E.P. ENGINEER:
 WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
 JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4331

ZONING CONSULTANT:
 DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST END STREET
 NEW YORK, NY 10036 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
 JEROME S. GILLMAN CONSULTING
 ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 TEL: 212.349.9304

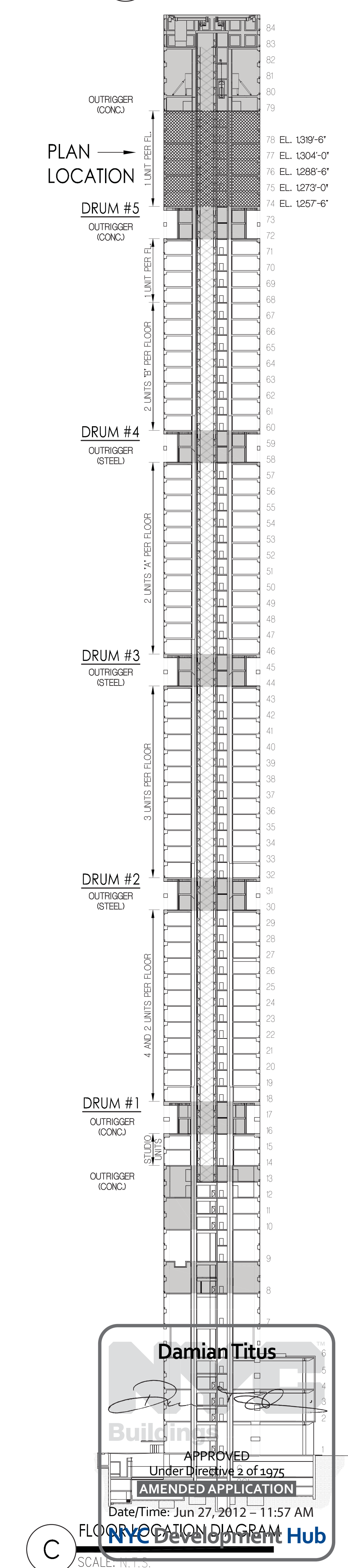
GEOTECHNICAL CONSULTANT:
 MUESER RUTLEDGE
 140 WEST 34TH STREET
 NEW YORK, NY 10018 TEL: 917.339.9310



NOTE:
 1. PARTITION TYPE 10.210 TO BE USED FOR ALL KITCHEN AND BATHROOM MECHANICAL EXHAUST RISERS AND OUTSIDE AIR MECHANICAL RISERS.
 2. ALL PARTITIONS TO HAVE SOUND ATTENUATION INSULATION.

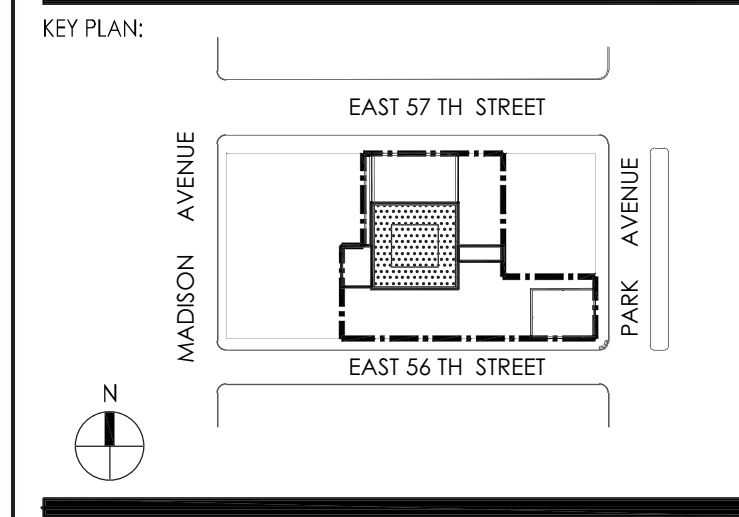
A FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.

B FLOOR HEIGHT DIAGRAM
 SCALE: N.T.S.



Damian Titus
 Building
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 Hub

06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No: Date: Revision:
 SCALE:
 1/4" = 1'-0"



DRAWING TITLE:
74TH THROUGH 78TH FLOOR PLAN

SEAL & SIGNATURE: DATE:
 PROJECT No: 2010-40
 DRAWN BY: NP
 CHECKED BY: CK
 DRAWING No: A-140.01
 CAD FILE No: DATE:
 06/27/12

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 WEST AVENUE
NEW YORK, NY 10033 TEL: 212.554.5923

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL: 212.924.9500

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 5TH AVENUE
NEW YORK, NY 10019 TEL: 212.252.3682

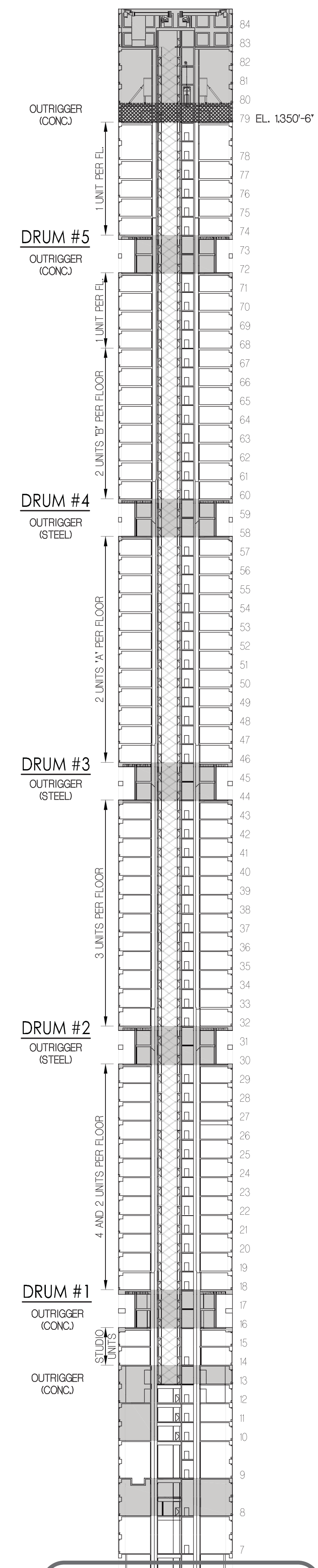
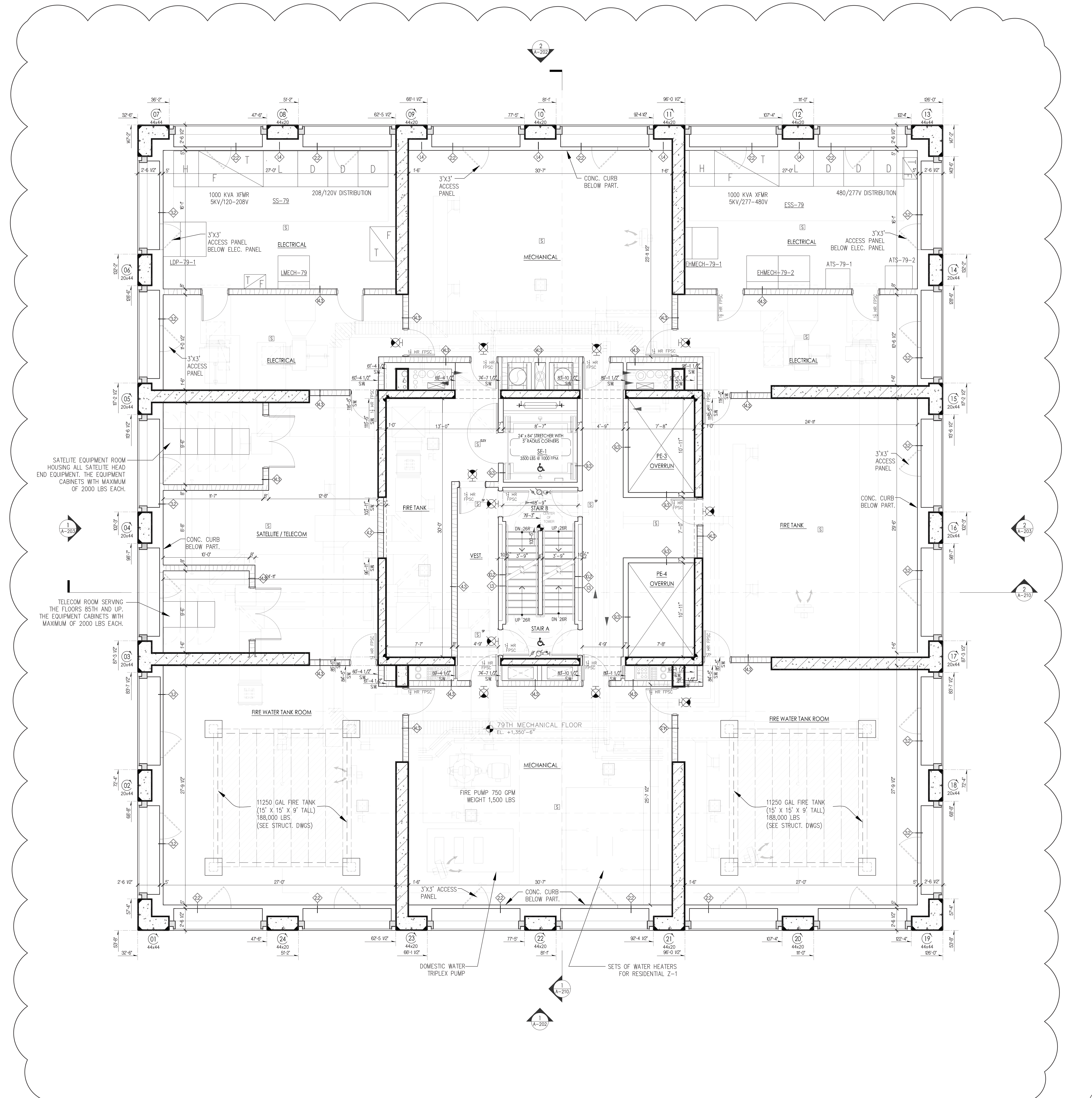
M/E/P ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4531

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL: 212.714.0290

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
140 WEST 17TH STREET
NEW YORK, NY 10011 TEL: 917.339.9310



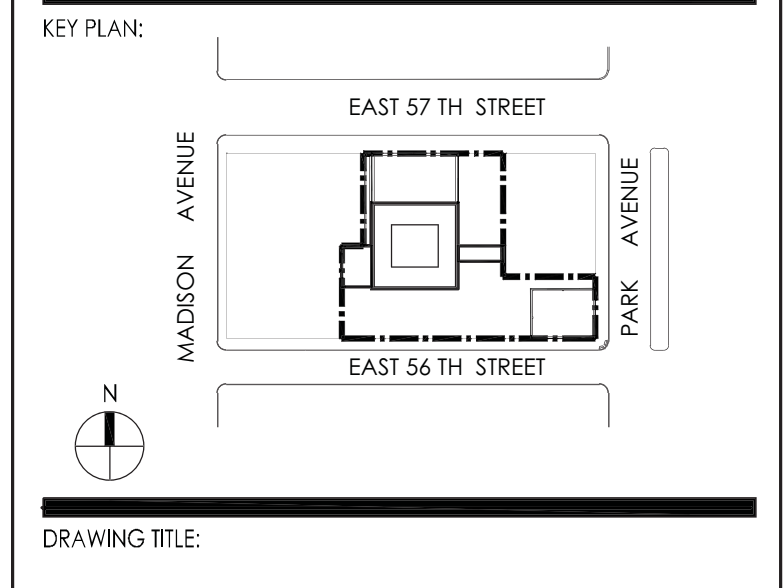
SATELLITE EQUIPMENT ROOM HOUSING ALL SATELLITE HEAD END EQUIPMENT. THE EQUIPMENT CABINETS WITH MAXIMUM OF 2000 LBS EACH.

TELECOM ROOM SERVING THE FLOORS 85TH AND UP. THE EQUIPMENT CABINETS WITH MAXIMUM OF 2000 LBS EACH.

06.01.2012 FAA
10.25.2011 DOB SUBMITTAL

No. Date: Revision:

SCALE:
1/4" = 1'-0"



Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION

Seal of the State of New York, Department of Buildings, License No. 20202

79TH FLOOR PLAN MECHANICAL

DATE: 2010-08
DRAWN BY: SJ/HH
CHECKED BY: CK
DRAWING NO.: A-141.01

DATE/TIME: Jun 27, 2012 - 11:57 AM
FLOOR LOCATION DIAGRAM
NYC Development Hub

440 PARK AVENUE

PROJECT:

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 WEST AVENUE
NEW YORK, NY 10033 TEL: 212.554.5923

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL: 212.924.9500

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3682

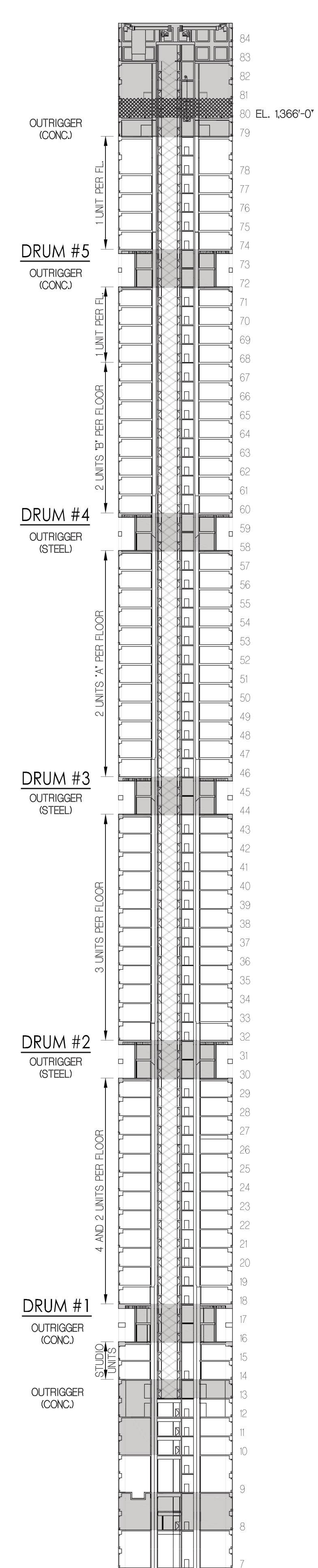
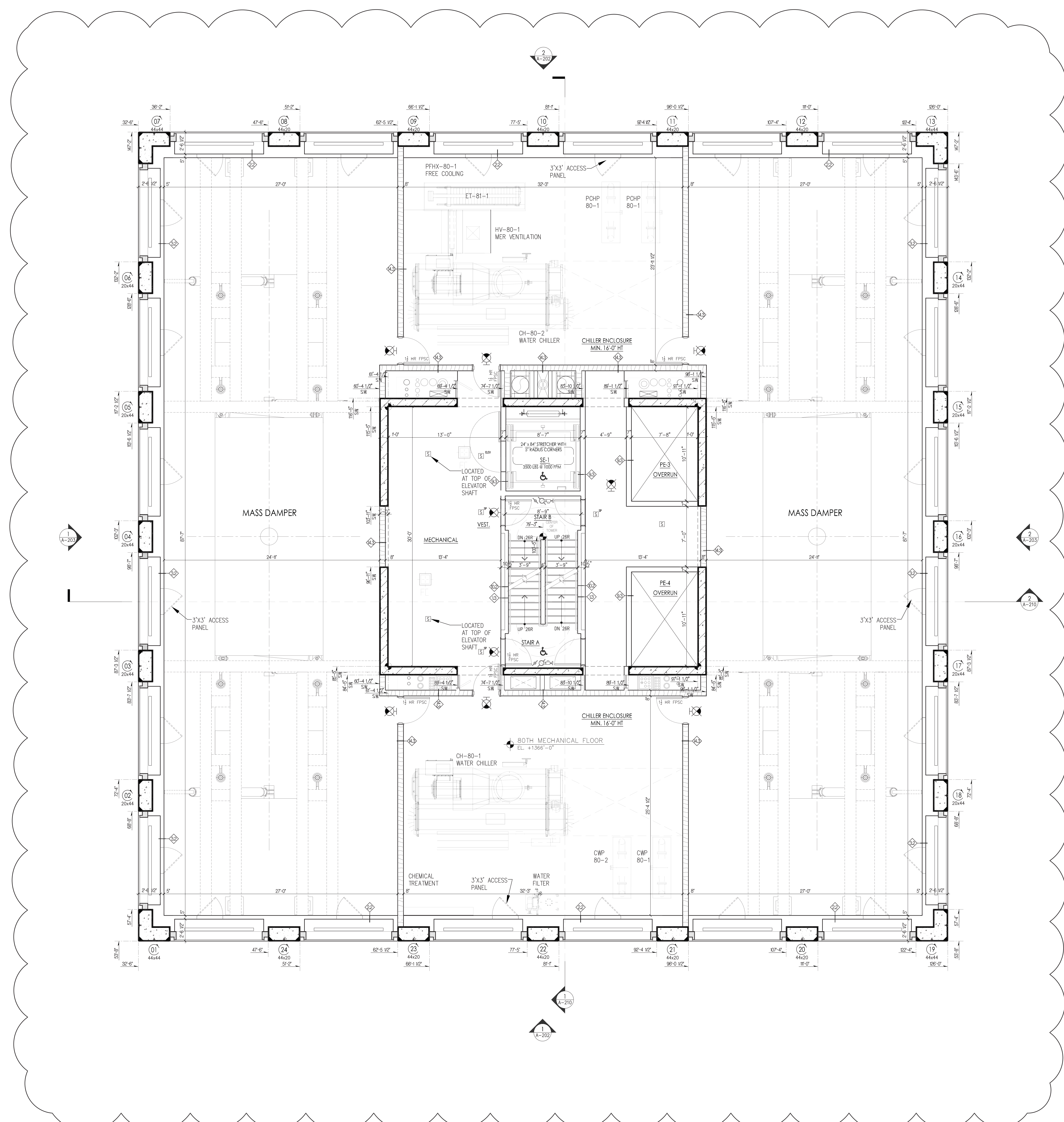
M/E ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4531

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL: 212.714.0280

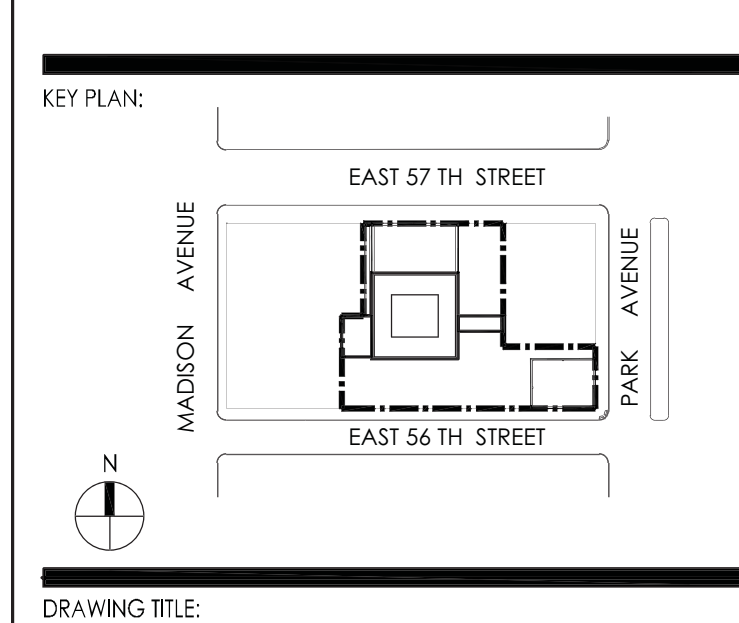
CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
147 WEST 17TH
NEW YORK, NY 10011 TEL: 917.339.9310



Damian Titus
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub

06.01.2012 FAA
 10.25.2011 DOB SUBMITTAL
 No. Date: Revision:
 SCALE:
 1/4" = 1'-0"



80TH FLOOR PLAN
 MECH. MASS DAMPER

SEAL & SIGNATURE	DATE
	PROJECT NO: 2010-40
DRAWN BY: SI/JH	CHECKED BY: CK
DRAWING NO: A-142.01	CAD FILE NO:

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 WEST AVENUE
NEW YORK, NY 10013 TEL: 212.554.5823

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 64TH STREET
NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3682

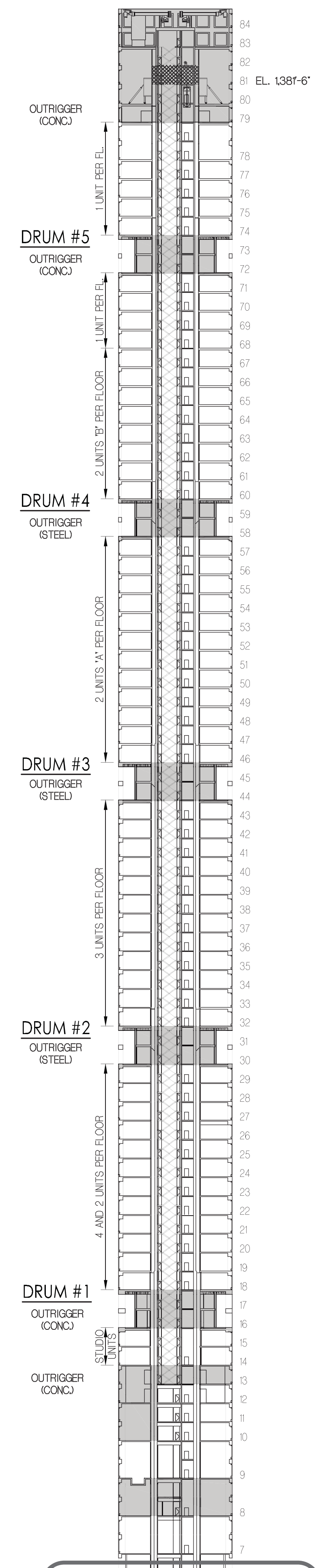
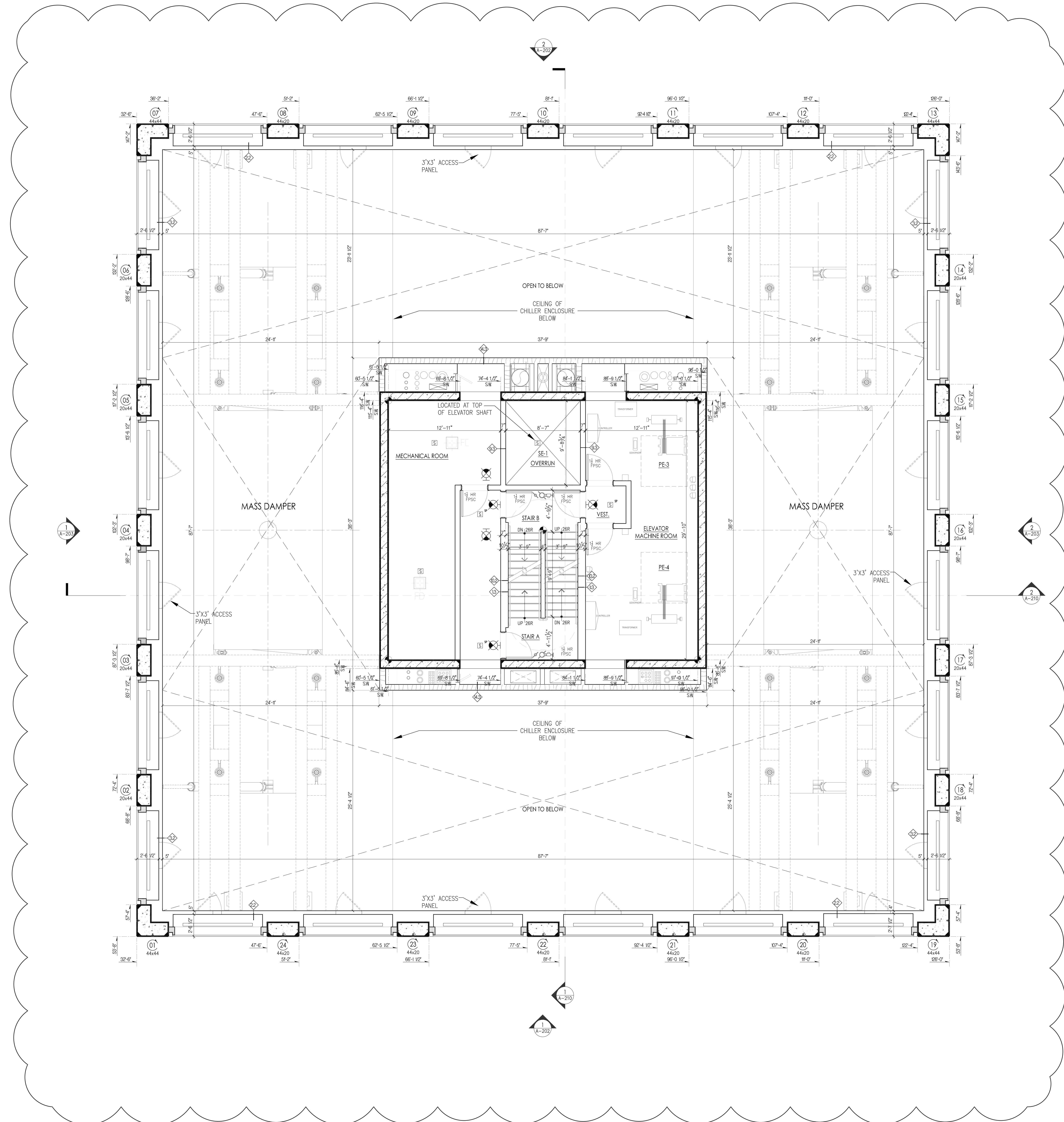
M/E ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4331

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL: 212.349.9304

ZONING CONSULTANT:
GEO TECHNICAL CONSULTANT:
MUESER RUTLEDGE
147 WEST 174TH
NEW YORK, NY 10032 TEL: 917.339.9310

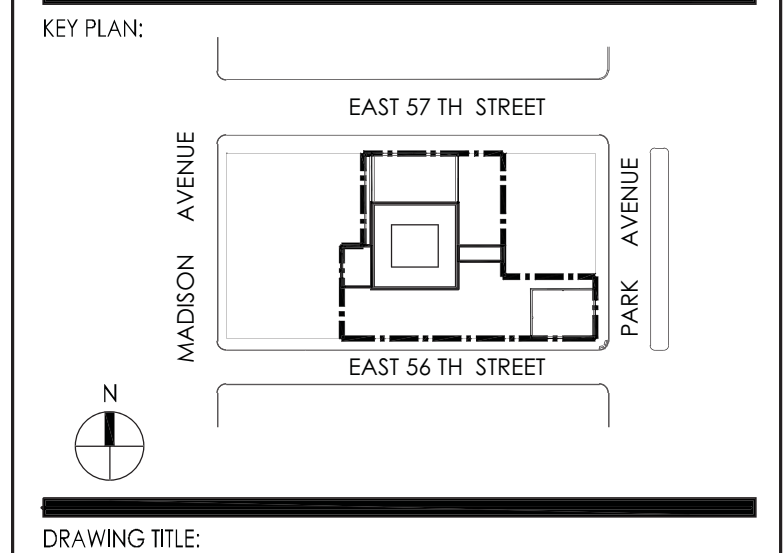


Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
FLOOR LOCATION DIAGRAM
NYC Development Hub

06.01.2012 FAA
10.25.2011 DOB SUBMITTAL

No: Date: Revision:

SCALE:
1/4" = 1'-0"



81ST FLOOR PLAN
MECH. MASS DAMPER

SEAL & SIGNATURE	DATE
	2010-08
DRAWN BY: SI/JH	CHECKED BY: CK
DRAWING NO: A-143.01	CAD FILE NO:

440 PARK AVENUE

PROJECT:

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 WEST AVENUE
NEW YORK, NY 10013 TEL: 212.554.5923

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3682

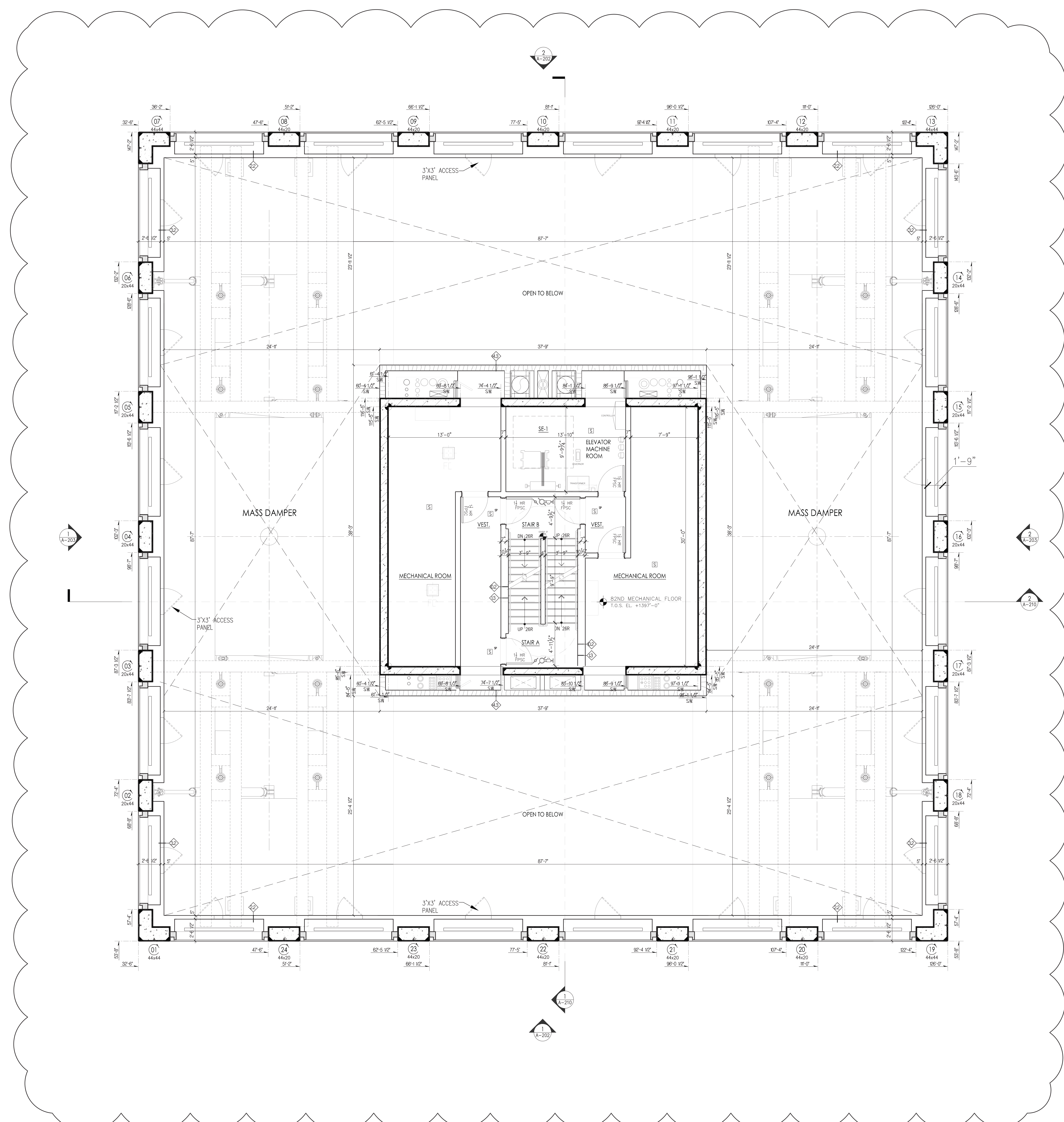
M/E/P ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4331

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL: 212.349.9304

ZONING CONSULTANT:
GEO TECHNICAL CONSULTANT:
MUESER RUTLEDGE
147 WEST 17TH
NEW YORK, NY 10011 TEL: 917.339.9310

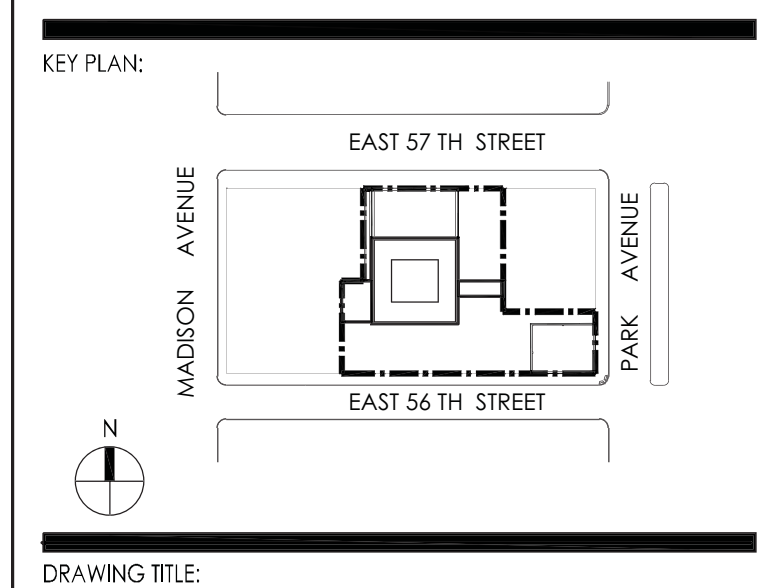


PLAN LOCATION



Damian Titus
 APPROVED
 Under Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
 FLOOR LOCATION DIAGRAM
 NYC Development Hub

06.01.2012 PA#
 10.25.2011 DOB SUBMITTAL
 No. Date: Revision:
 SCALE:
 1/4" = 1'-0"



82ND FLOOR PLAN MECH. MASS DAMPER

SEAL & SIGNATURE	DATE
<i>[Signature]</i>	PROJECT NO: 2010-40
	DRAWN BY: SJ/JH
	CHECKED BY: CK
	DRAWING NO: A-144.01
	CADD FILE NO:

B

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 WEST AVENUE
NEW YORK, NY 10036 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL: 212.924.9500

STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
228 EAST 64TH STREET
NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3682

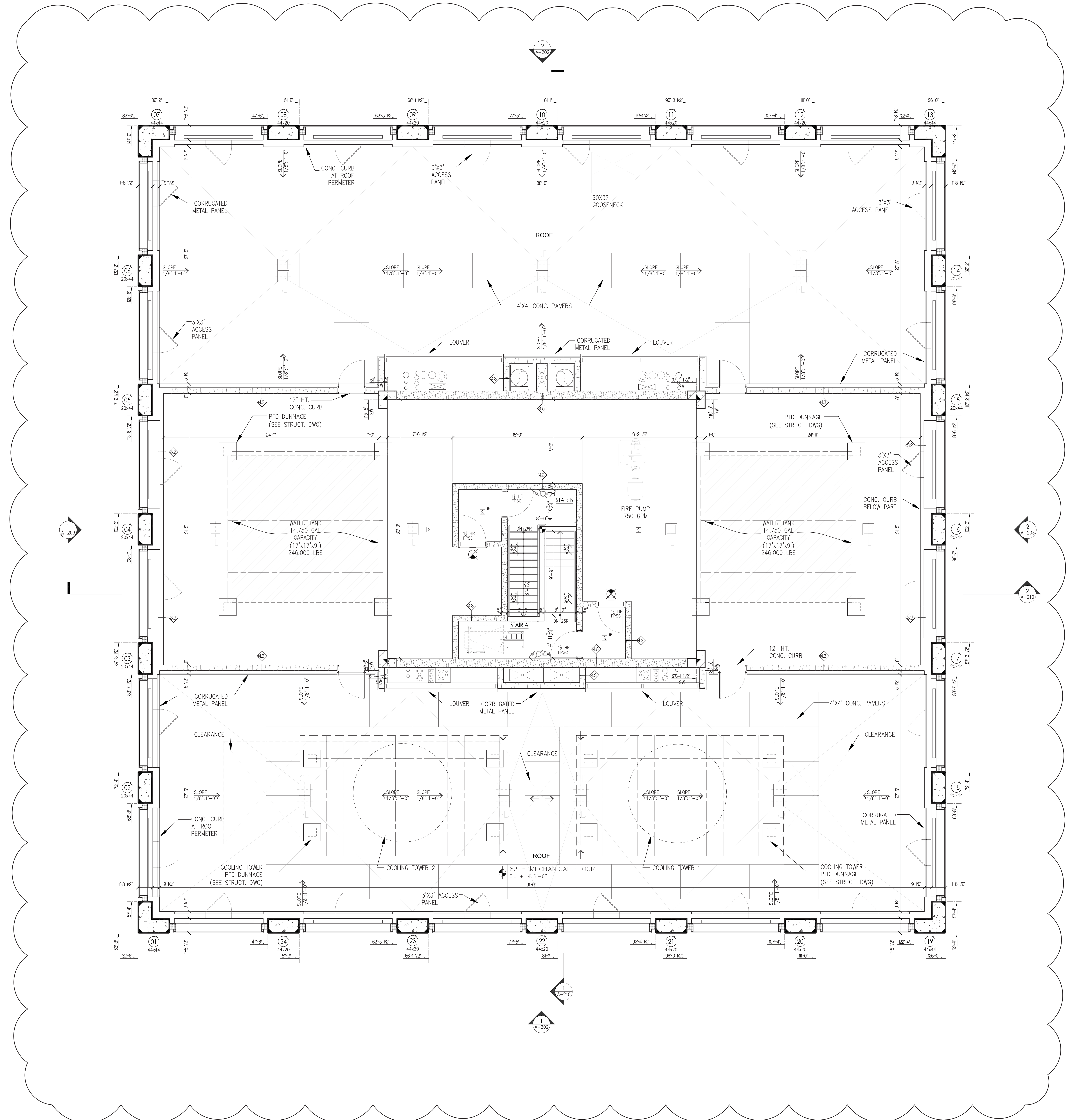
M/E ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4531

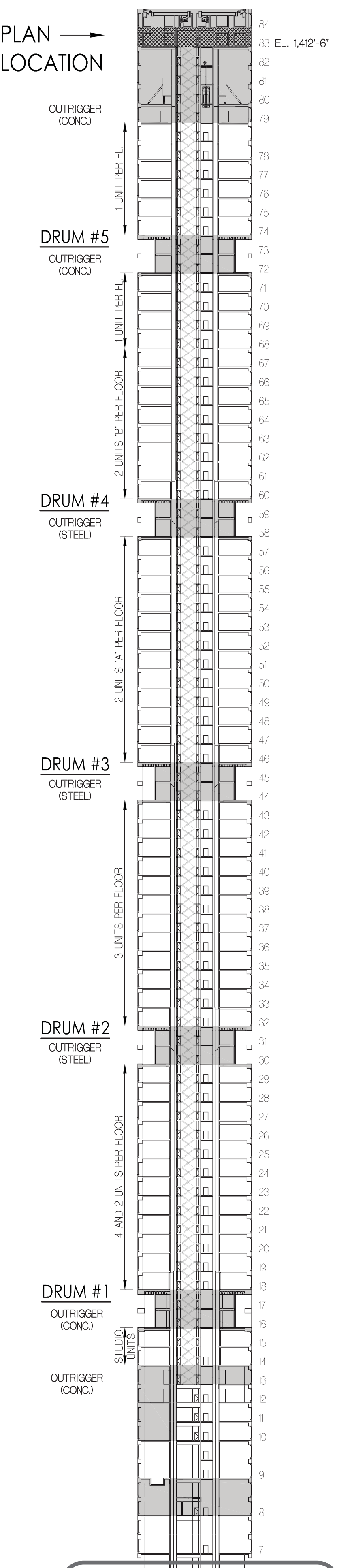
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
149 BROADWAY
NEW YORK, NY 10012 TEL: 917.339.9310



PLAN LOCATION



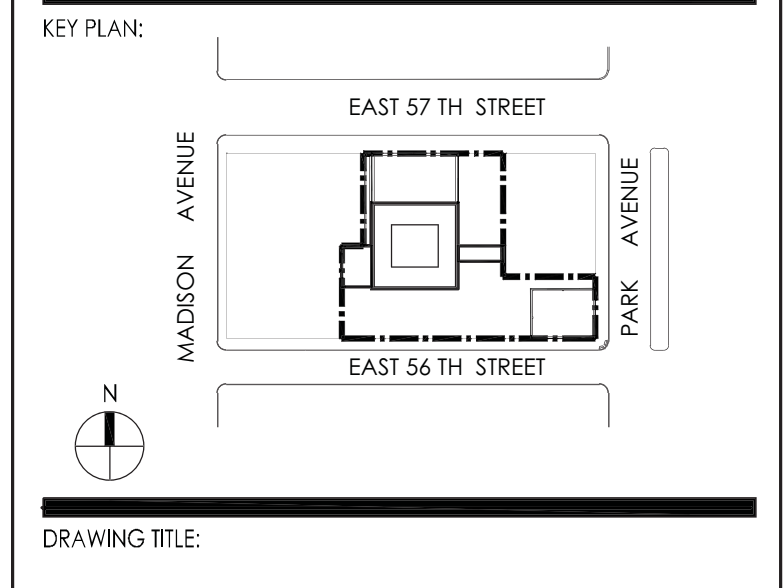
Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION

Seal & Signature: *[Signature]*
PROJECT NO: 2010-40
DRAWN BY: SJ/HH
CHECKED BY: CK
DRAWING NO: A-145.01
DATE: 2010-40
Date/Time: Jun 27, 2012 11:57 AM
FLOOR LOCATION DIAGRAM
NYC Development Hub

06.01.2012 FAA
10.25.2011 DOB SUBMITTAL

No: _____ Date: _____ Revision: _____

SCALE:
1/4" = 1'-0"



ROOF PLAN MECHANICAL (LVL 83)

SEAL & SIGNATURE: *[Signature]*
PROJECT NO: 2010-40
DRAWN BY: SJ/HH
CHECKED BY: CK
DRAWING NO: A-145.01
DATE: 2010-40
Date/Time: Jun 27, 2012 11:57 AM
FLOOR LOCATION DIAGRAM
NYC Development Hub

PROJECT:
440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
765 FIFTH AVENUE
NEW YORK, NY 10013 TEL.: 212.554.5923

EXECUTIVE ARCHITECT:
SLCE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10013 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
228 EAST 46TH STREET
NEW YORK, NY 10017 TEL.: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

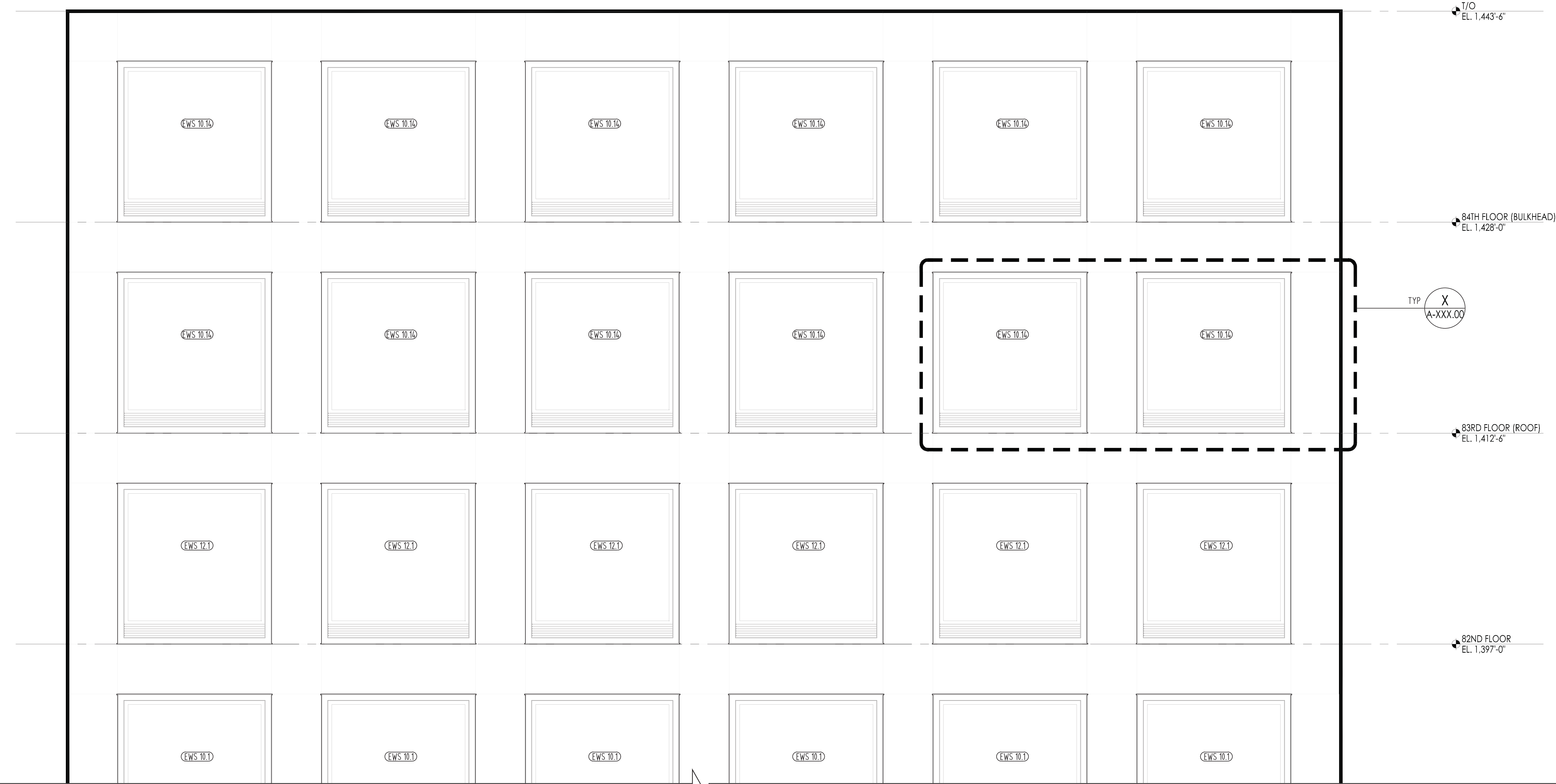
M/E/P ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4351

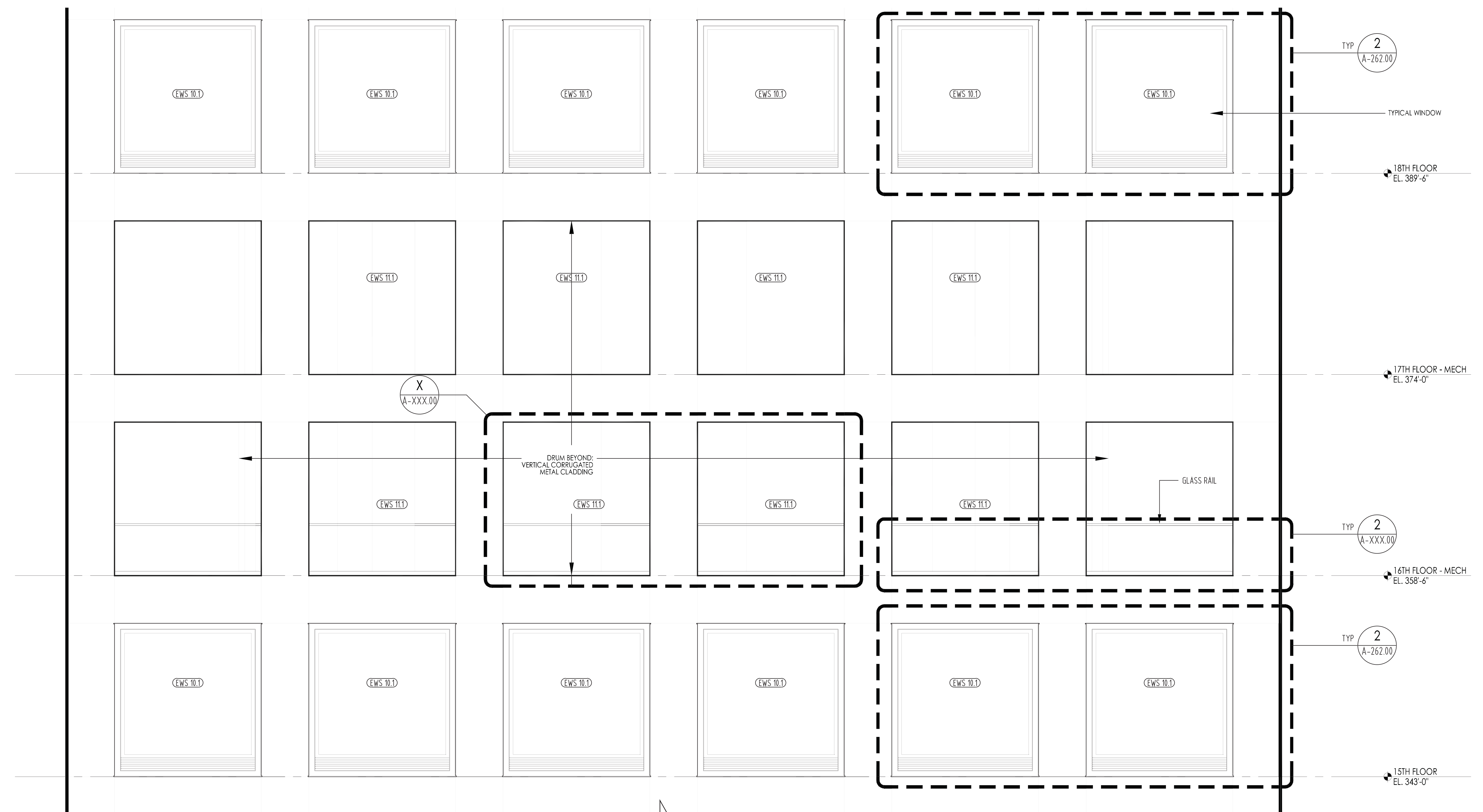
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL.: 212.349.9204

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
140 BROADWAY
NEW YORK, NY 10012 TEL.: 917.339.9310



2 PARTIAL BUILDING ELEVATION - TYPICAL BUILDING TOP
SCALE: AS SHOWN



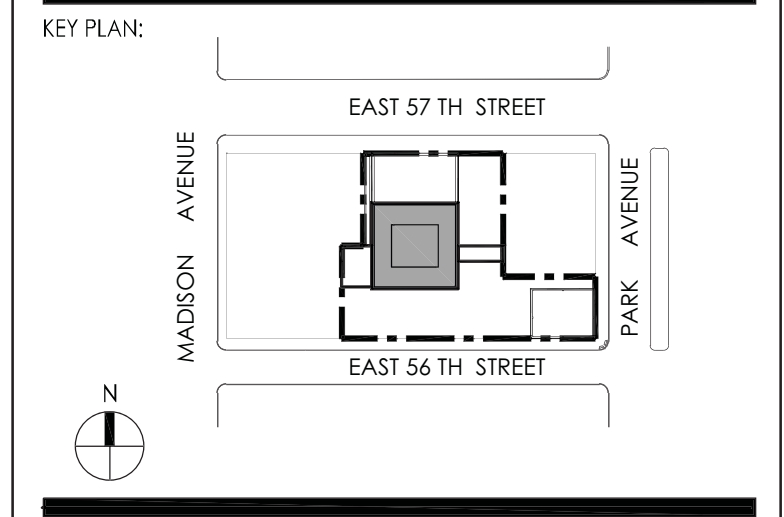
1 PARTIAL BUILDING ELEVATION - TYPICAL MECHANICAL DRUM
SCALE: AS SHOWN

Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

06.01.2012 PAA
10.25.2011 DOB SUBMITTAL

No. Date: Revision:

SCALE:
0' 1' 2' 3' 4' 5'
1/4" = 1'-0"



DRAWING TITLE:
PARTIAL BUILDING ELEVATIONS

SEAL & SIGNATURE: [Signature]
DATE: 2010-09
DRAWN BY: [Signature]
CHECKED BY: CK
DRAWING NO.: A-207.01
CADD FILE NO.: [Blank]

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
 C/O
McGRAW HUDSON CONSTR. CORP.

DEVELOPER:
McGRAW HUDSON CONSTR. CORP.
 765 5TH AVENUE
 NEW YORK, NY 10013 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
SLCE ARCHITECTS, LLP
 841 BROADWAY
 NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
 50 VANDAM STREET
 NEW YORK, NY 10013 TEL: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
 228 EAST 6TH STREET
 NEW YORK, NY 10017 TEL: 212.467.7888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
 654 8TH AVENUE
 NEW YORK, NY 10018 TEL: 212.255.3682

M E P ENGINEER:
WSP FLACK + KURTZ
 312 SEVENTH AVENUE
 NEW YORK, NY 10018 TEL: 212.923.9600

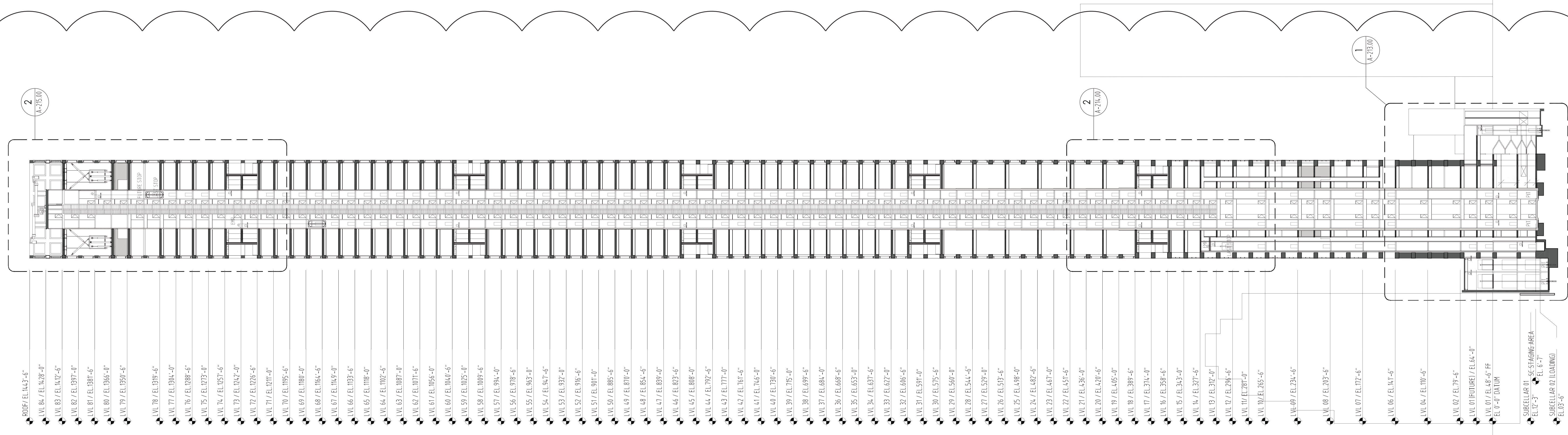
ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
 1251 AVENUE OF THE AMERICAS
 NEW YORK, NY 10020 TEL: 800.897.4531

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
 300 WEST 42ND STREET
 NEW YORK, NY 10018 TEL: 212.714.0280

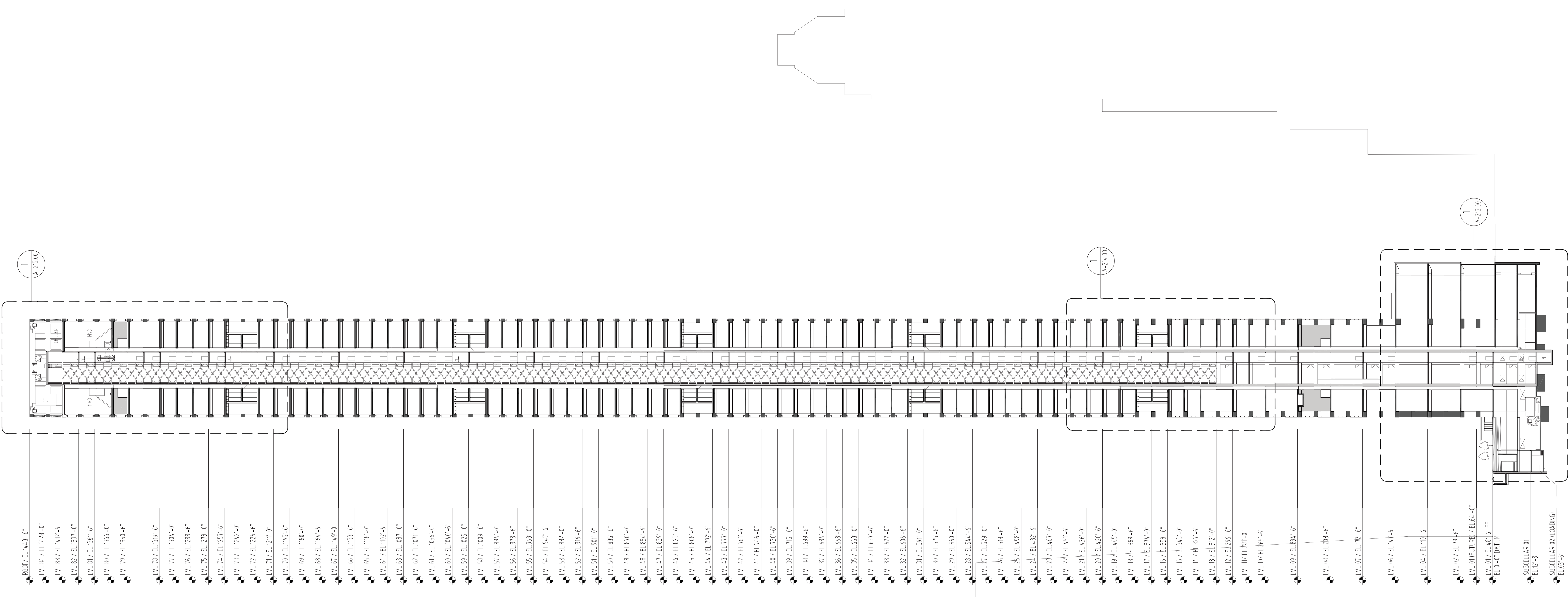
CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING ARCHITECTS, P.C.
 40 WORTH STREET
 NEW YORK, NY 10013 TEL: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
 148 BROADWAY
 NEW YORK, NY 10012 TEL: 917.339.9310

2 BUILDING SECTION - EAST WEST SECTION
 SCALE: AS SHOWN

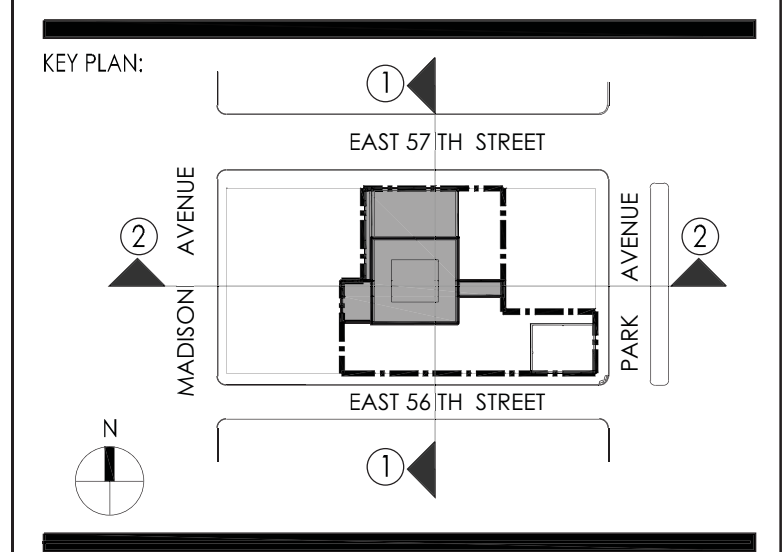
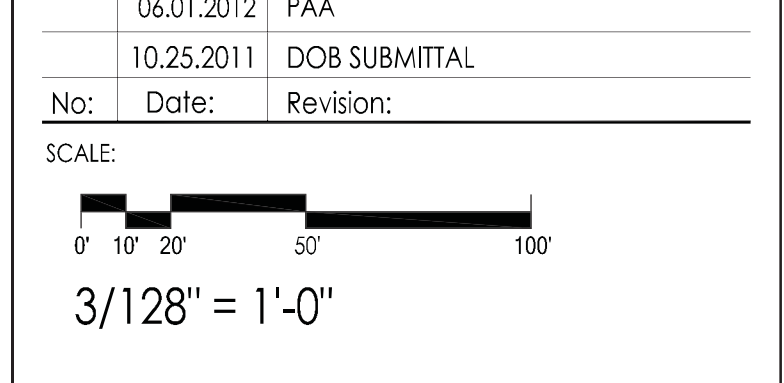


1 BUILDING ELEVATION - NORTH SOUTH
 SCALE: AS SHOWN



Damian Titus
 Buildings
 APPROVED
 Update Directive 2 of 1975
 AMENDED APPLICATION
 Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

06.01.2012	FAA
10.25.2011	DOB SUBMITTAL
No:	Date:
Revision:	Revision:

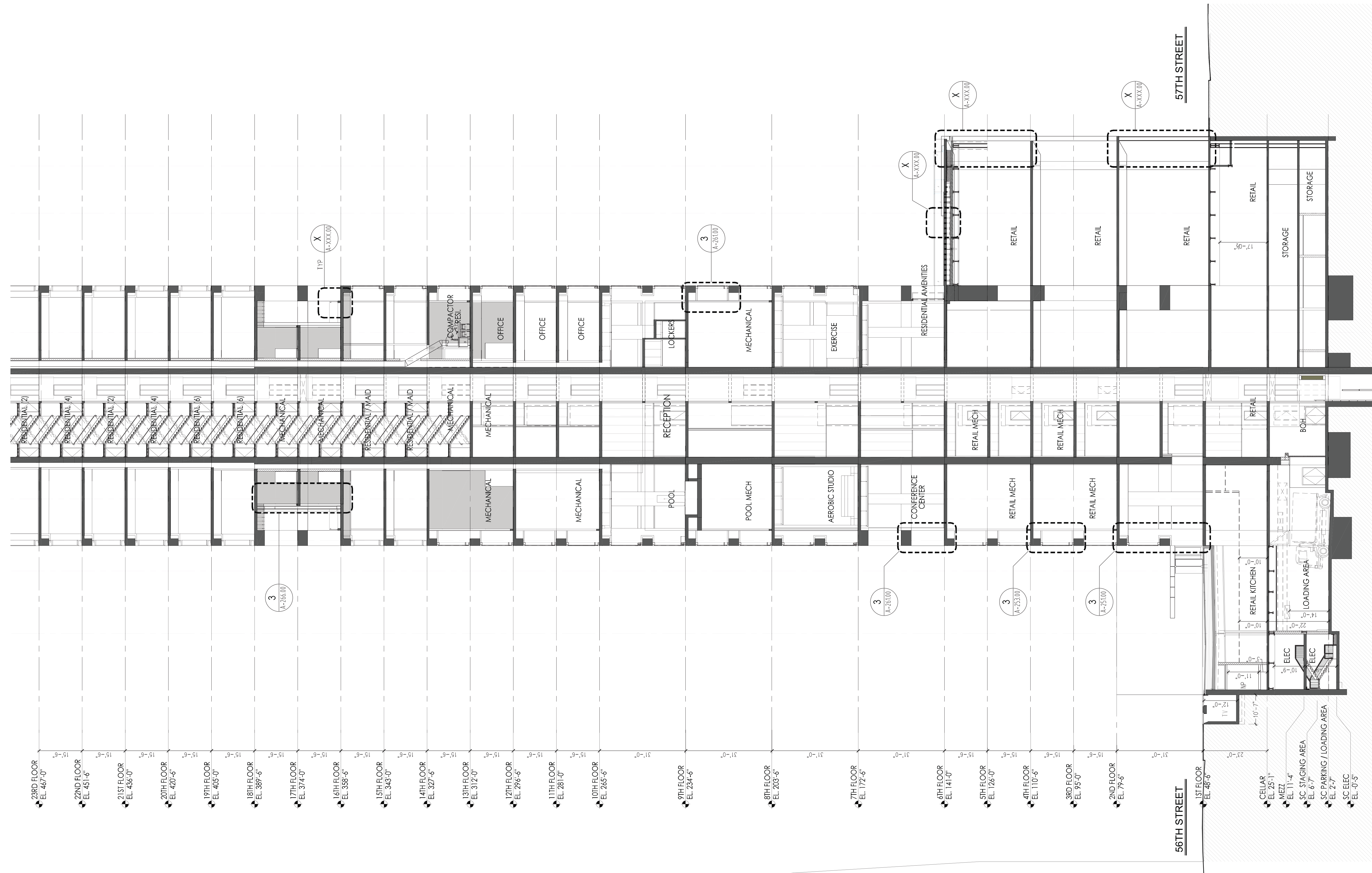


DRAWING TITLE:
OVERALL BUILDING SECTIONS

SEAL & SIGNATURE:	DATE:
	PROJECT No: 2010-49
	DRAWN BY:
	CHECKED BY: CK
	DRAWING No: A-210.01
	CADD FILE No:

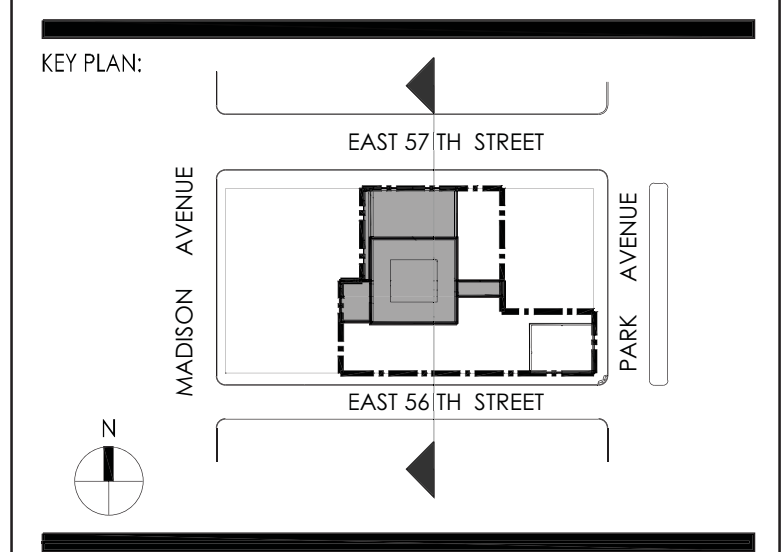
440 PARK AVENUE

PROJECT:
OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.
DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 5TH AVENUE
NEW YORK, NY 10013 TEL.: 212.554.5825
EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.979.8400
DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5600
STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
228 EAST 6TH STREET
NEW YORK, NY 10017 TEL.: 212.687.1988
CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3882
M E P ENGINEER:
WSP FLACK + KURTZ
512 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.533.9600
ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4051
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
320 WEST 42ND STREET
NEW YORK, NY 10036 TEL.: 212.714.0200
CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013
ZONING CONSULTANT:
GEO TECHNICAL CONSULTANT:
MUESER RUTLEDGE
14 FRANKLIN AVE
NEW YORK, NY 10122 TEL.: 917.339.9310



PARTIAL BUILDING SECTION - AMENITIES (NORTH - SOUTH)
SCALE: AS SHOWN

06.01.2012	FAA	
10.25.2011	DOB SUBMITTAL	
No:	Date:	Revision:
SCALE:		
1/16" = 1'-0"		



Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

BUILDING SECTION NORTH SOUTH

SEAL & SIGNATURE: [Signature]
DATE: 2012-06-27
PROJECT NO: 2010-40
DRAWN BY: [Signature]
CHECKED BY: CK
DRAWING NO: A-211.01
CADD FILE NO: [Signature]

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
767 8TH AVENUE
NEW YORK, NY 10013 TEL.: 212.554.5825

EXECUTIVE ARCHITECT:
SLCE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10013 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5560

STRUCTURAL ENGINEER:
WSP CANTOR SENUK
228 EAST 65TH STREET
NEW YORK, NY 10017 TEL.: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

M E P ENGINEER:
WSP FLACK + KURTZ
313 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4551

ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
330 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL.: 212.349.9304

GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
14 FRANK PLAZA
NEW YORK, NY 10122 TEL.: 917.339.9310



PARTIAL BUILDING SECTION - CELLARS & PLAZA (NORTH - SOUTH)
SCALE: AS SHOWN

Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

06.01.2012 PAA
10.25.2011 DOB SUBMITTAL

No: Date: Revision:

SCALE:
1/8" = 1'-0"

KEY PLAN:
EAST 57TH STREET
EAST 56TH STREET
MADISON AVENUE
PARK AVENUE

DRAWING TITLE:
PARTIAL BUILDING SECTION CELLARS & PLAZA

SEAL & SIGNATURE:
DATE: PROJECT NO: 2010-48
DRAWN BY: CHECKED BY: CK
DRAWING NO: A-212.01
CADD FILE NO: 12/05/10

PARTITION TYPES

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
1.1 7/8"	METAL FURRING STRIPS, MAXIMUM SPACING 24" O.C.			
1.2 1 5/8"	N.A.	39	7'-3" OR LESS (STUD GAUGE: 25)	8'-3" OR LESS (STUD GAUGE: 25)
1.3 2 1/2"	N.A.	39	11'-6" OR LESS	13'-0" OR LESS
1.4 3 5/8"	N.A.	40	15'-0" OR LESS	17'-3" OR LESS
1.5 4"	N.A.	40-44	16'-3" OR LESS	18'-9" OR LESS
1.6 6"	N.A.	40-44	22'-3" OR LESS	25'-6" OR LESS

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

1 **GWB FURRING**
NO RATING

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
2.1 2 1/2"	N.A.	40	12'-0" OR LESS	13'-10" OR LESS
2.2 3 5/8"	N.A.	40-44	15'-7" OR LESS	17'-11" OR LESS
2.3 4"	N.A.	40-44	16'-10" OR LESS	19'-2" OR LESS
2.4 6"	N.A.	40-44	22'-10" OR LESS	26'-1" OR LESS

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

2 **GWB PARTITION**
NO RATING

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
3.1 2-1/2"	U419 OR U465	45-49	12'-0" OR LESS	13'-10" OR LESS
3.2 3-5/8"	U419 OR U465	45-49	15'-7" OR LESS	17'-11" OR LESS
3.3 4"	U419 OR U465	40-44	16'-10" OR LESS	19'-2" OR LESS
3.4 6"	U419 OR U465	40-44	22'-10" OR LESS	26'-1" OR LESS

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

3 **GWB PARTITION**
1 HR RATING

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
4.1 2-1/2"	U411 OR U419	56	13'-5" OR LESS	16'-1" OR LESS
4.2 3-5/8"	U411 OR U419	56	17'-8" OR LESS	20'-2" OR LESS
4.3 4"	U411 OR U419	56	18'-11" OR LESS	21'-7" OR LESS
4.4 6"	U411 OR U419	56	24'-11" OR LESS	28'-6" OR LESS

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

4 **GWB PARTITION**
2 HR RATING

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
5.1 2-1/2"	U419	N.A.	13'-5" OR LESS	16'-1" OR LESS
5.2 3-5/8"	U419	N.A.	17'-8" OR LESS	20'-2" OR LESS
5.3 4"	U419	N.A.	18'-11" OR LESS	21'-7" OR LESS
5.4 6"	U419	N.A.	24'-11" OR LESS	28'-6" OR LESS

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

5 **GWB PARTITION - DEMISING**
1 HR RATING (EXTRA GWB FOR ACOUSTICS)

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
6.1 1-5/8"	U420	52	11'-6" OR LESS (STUD GAUGE: 25)	13'-3" OR LESS (STUD GAUGE: 25)
6.2 2-1/2"	U420	52	15'-6" OR LESS (STUD GAUGE: 25)	17'-6" OR LESS (STUD GAUGE: 25)
6.3 3-5/8"	U420	52	19'-3" OR LESS (STUD GAUGE: 25)	22'-9" OR LESS (STUD GAUGE: 25)

INSULATION: SOUND ATTENUATION BLANKETS SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

6 **CHASE WALL**
1 HR RATING

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
7.1 1-5/8"	U420	52	12'-6" OR LESS (STUD GAUGE: 25)	14'-6" OR LESS (STUD GAUGE: 25)
7.2 2-1/2"	U420	52	16'-0" OR LESS (STUD GAUGE: 25)	19'-0" OR LESS (STUD GAUGE: 25)
7.3 3-5/8"	U420	52	19'-3" OR LESS (STUD GAUGE: 25)	23'-6" OR LESS (STUD GAUGE: 25)

INSULATION: SOUND ATTENUATION BLANKETS SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

7 **CHASE WALL**
1 HR RATING (EXTRA GWB FOR ACOUSTICS)

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
8.1 2-1/2"	N.A.		11'-6" OR LESS	13'-0" OR LESS
8.2 3 5/8"	N.A.		15'-0" OR LESS	17'-3" OR LESS

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

8 **GWB FURRING AT EXT. COLUMN**
NO RATING

STUD SIZE:	UL NUMBER	STC	C-H STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
9.1 2-1/2"	U438	47	8'-11" OR LESS (ELEVATOR SHAFT PRESSURE LOAD AT 15.0 PSF)	
9.2 4"	U438	47	12'-1" OR LESS (ELEVATOR SHAFT PRESSURE LOAD AT 15.0 PSF)	
9.3 6"	U438	47	15'-1" OR LESS (ELEVATOR SHAFT PRESSURE LOAD AT 15.0 PSF)	

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

9 **ELEVATOR SHAFT ENCLOSURE**
2 HR RATING

STUD SIZE:	UL NUMBER	STC	C-H STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
10.1 2-1/2"	U438	280H+34	12'-10" OR LESS (SUSTAINED SHAFT PRESSURE LOAD AT 5.0 PSF)	
10.2 4"	U438	400H+34	18'-7" OR LESS (SUSTAINED SHAFT PRESSURE LOAD AT 5.0 PSF)	
10.3 6"	U438	600H+34	26'-6" OR LESS (SUSTAINED SHAFT PRESSURE LOAD AT 5.0 PSF)	

INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

10 **LINED SHAFT ENCLOSURE**
2 HR RATING

STUD SIZE:	UL NUMBER	STC	STUD SPACING:	
			16" O.C. STUD SPACING	24" O.C. STUD SPACING
11 3 5/8"	U411	52	16'-9"	13'-6"

SEALANT: YES
INSULATION: SOUND ATTENUATION BLANKETS SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

11 **SCISSOR STAIR PARTITION**
2 HR RATING

STUD SIZE:	UL NUMBER	STC	C-H STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
12.1 2 1/2"	U415		12'-10" OR LESS (AT SHAFT W/5.0 PSF)	
12.2 4"	U415		18'-1" OR LESS (AT SHAFT W/5.0 PSF)	
12.3 6"	U415		21'-9" OR LESS (AT SHAFT W/5.0 PSF)	

SEALANT: YES
INSULATION: ---

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

12 **SHAFT WALL (TRASH CHUTE)**
3 HR RATING

CMU SIZE:	UL NUMBER	STC	FIRE RATING	
			HOLLOW	SOLID
4"	N.A.	44	0 HOUR	1 HOUR
6"	N.A.	44	2 HOUR	2 HOUR
8"	N.A.	48	3 HOUR	3 HOUR
10"	N.A.	55	4 HOUR	4 HOUR

SEALANT: N.A.
INSULATION: N.A.

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

14 **CMU WALL**

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
15.1 2-1/2"	U419 OR U465	45-49	12'-0" OR LESS	13'-10" OR LESS
15.2 3-5/8"	U419 OR U465	45-49	15'-7" OR LESS	17'-11" OR LESS

SEALANT: YES
INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

15 **GWB PARTITION**
1 HR RATING

STUD SIZE:	UL NUMBER	STC	STUD HEIGHT LIMITATIONS @ L/240	
			24" O.C. STUD SPACING	16" O.C. STUD SPACING
16.1 2-1/2"	65+		11'-6" OR LESS	13'-0" OR LESS
16.2 3 5/8"	65+		15'-0" OR LESS	17'-3" OR LESS

SEALANT: YES
INSULATION: * DESIGNATES BATT INSULATION SAME THICKNESS AS STUD WIDTH

NOTE: STUD HT. LIMITATIONS TAKEN FROM USG HAND BOOK

16 **GWB FURRING-ACOUSTIC**
NO RATING

PROJECT: 440 PARK AVENUE

OWNER: 440 PARK AVE (NY) OWNER, LLC
C/O MCGRAW HUDSON CONSTR. CORP.

DEVELOPER: MCGRAW HUDSON CONSTR. CORP.
767 8TH AVENUE
NEW YORK, NY 10019
TEL: 212-554-9823

EXECUTIVE ARCHITECT: SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003
TEL: 212-979-8400

DESIGN ARCHITECT: RAFAEL VINOLY ARCHITECTS PC
50 VANDERBILT STREET
NEW YORK, NY 10013
TEL: 212-924-9500

STRUCTURAL ENGINEER: WSP CANTOR SENUK
228 EAST 67TH STREET
NEW YORK, NY 10017
TEL: 212-687-9888

CONSULTING STRUCTURAL ENGINEER: SCHLACH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018
TEL: 212-255-3682

M/E ENGINEER: WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018
TEL: 212-523-9600

ELEVATOR CONSULTANT: JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020
TEL: 800-897-4531

ZONING CONSULTANT: DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018
TEL: 212-714-0280

CODE CONSULTANT / EXPEDITING: JEROME S. GILLMAN CONSULTING ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013
TEL: 212-349-9304

GEOTECHNICAL CONSULTANT: MUESER RUTLEDGE
1 HUNTERS PLACE
NEW YORK, NY 10012
TEL: 917-339-9310

DATE: 06.01.2012 PAA
10.25.2011. DOB SUBMITTAL
No.: _____ Date: _____ Revision: _____
SCALE: _____

KEY PLAN: EAST 57TH STREET, EAST 56TH STREET, HUDSON AVENUE, PARK AVENUE

DRAWING TITLE: PARTITION TYPES

SEAL & SIGNATURE: [Signature] Buildings
PROJECT No.: 2010-40
DRAWN BY: NP
CHECKED BY: GAJ/CK
DRAWING No.: A-401.01
DATE: Jun 27, 2012 - 11:57 AM
APPROVED: [Signature] Under Directive 2 of 1975 AMENDED APPLICATION
NYC Development Hub

PROJECT:
440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
767 5TH AVENUE
NEW YORK, NY 10013 TEL.: 212.554.5825

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.959.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5560

STRUCTURAL ENGINEER:
WSP CANTOR SENK
228 EAST 65TH STREET
NEW YORK, NY 10017 TEL.: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 5TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

M/E/P ENGINEER:
WSP FLACK + KURTZ
513 SPENGLER AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

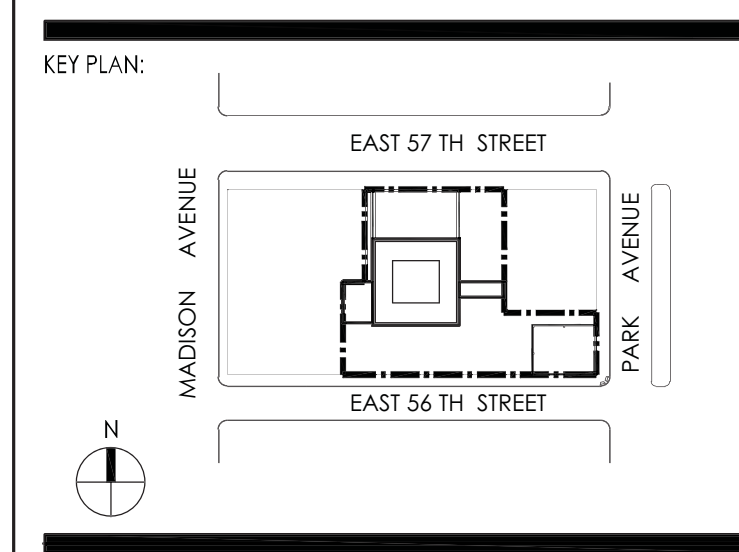
ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4551

DEVELOPMENT CONSULTING SERVICES, INC.
330 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 TEL.: 212.349.9304

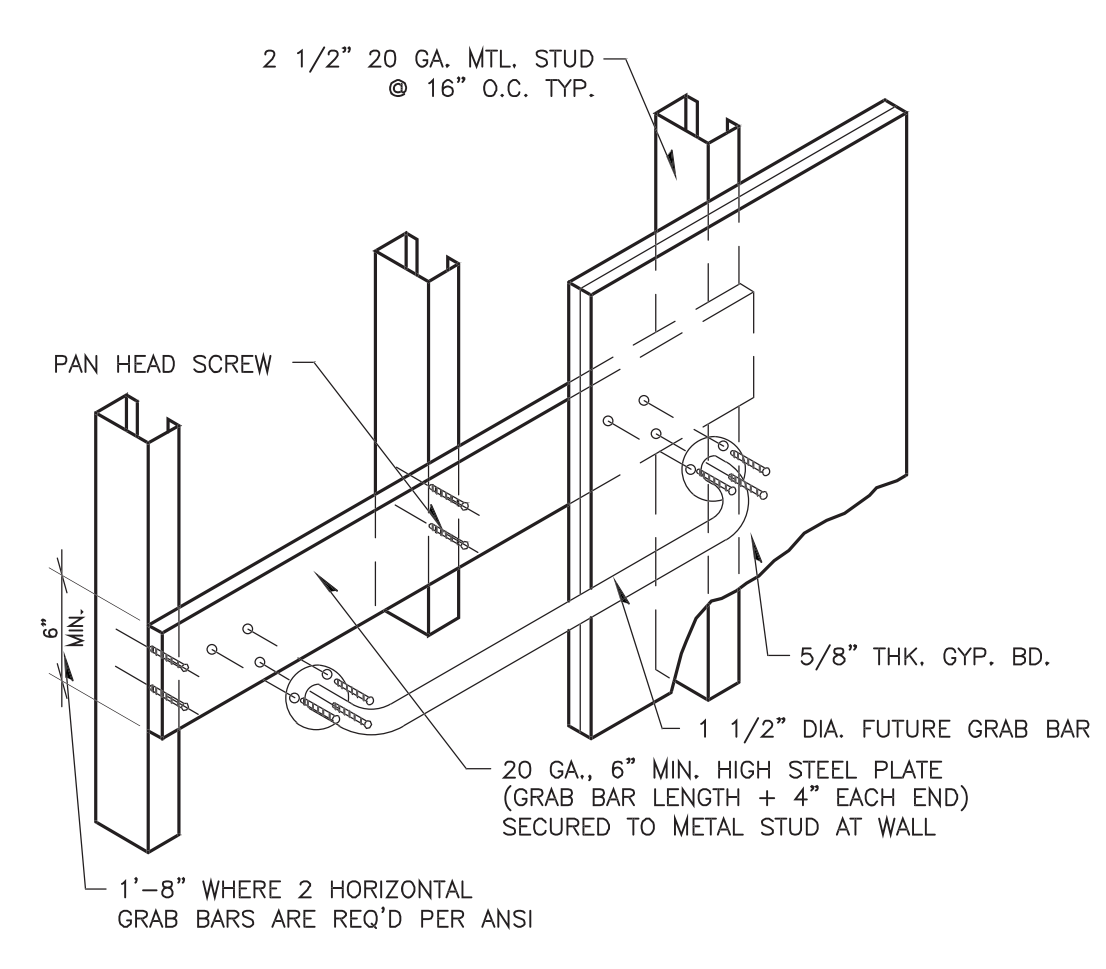
GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
14 FRANK PLAZA
NEW YORK, NY 0122 TEL.: 917.339.9310

04.01.2012 PAA
No: Date: Revision:

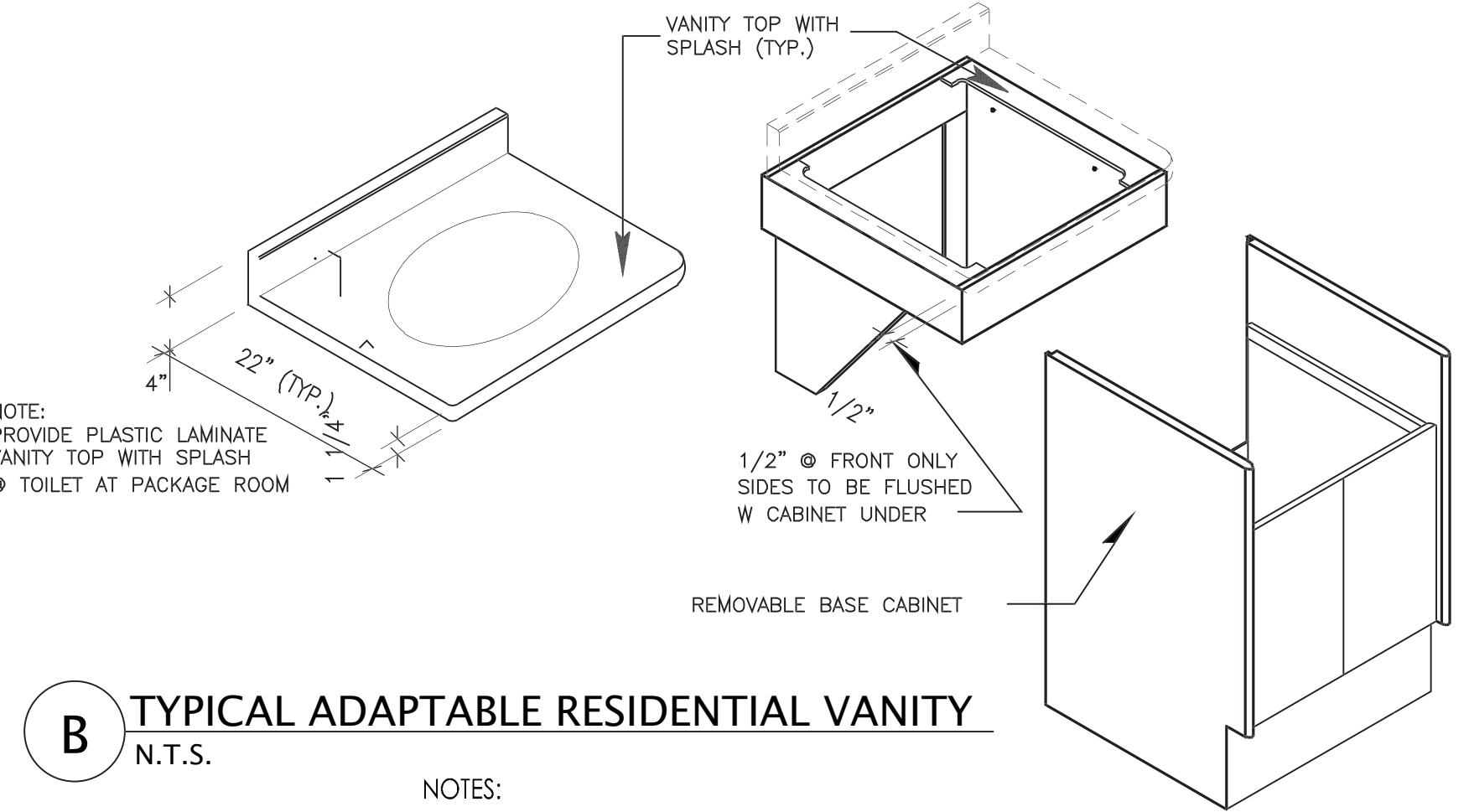


DRAWING TITLE:
TYPICAL RESIDENTIAL BATHROOMS

SEAL & SIGNATURE: *[Signature]*
PROJECT NO: 2010.40
DRAWN BY: BC
CHECKED BY: CK
DRAWING NO: A-514.00
DATE: Jun 27, 2012 - 11:57 AM
NYC Development Hub



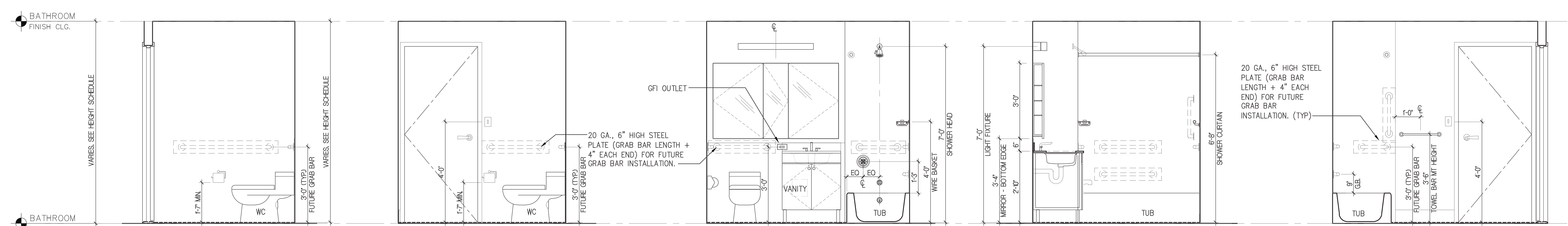
A PLATE DETAIL FOR GRAB BAR INSTALLATION
SEE BATHROOM ELEV. FOR LOCATION N.T.S.



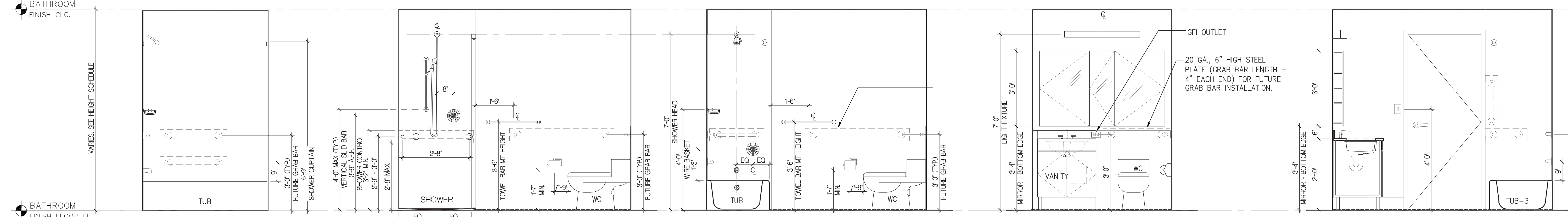
B TYPICAL ADAPTABLE RESIDENTIAL VANITY
N.T.S.

- NOTE:
- 1) ALL DIMENSIONS SHOULD BE VERIFIED IN FIELD CONDITION.
 - 2) ALL VANITY BASE CABINETS SHALL BE REMOVABLE IN ORDER TO COMPLY WITH ANSI A 117.1, 2003. FINISH FLOOR SHALL CONTINUE UNDER CABINET AND COUNTER TOP SHALL BE @ 36\"/>

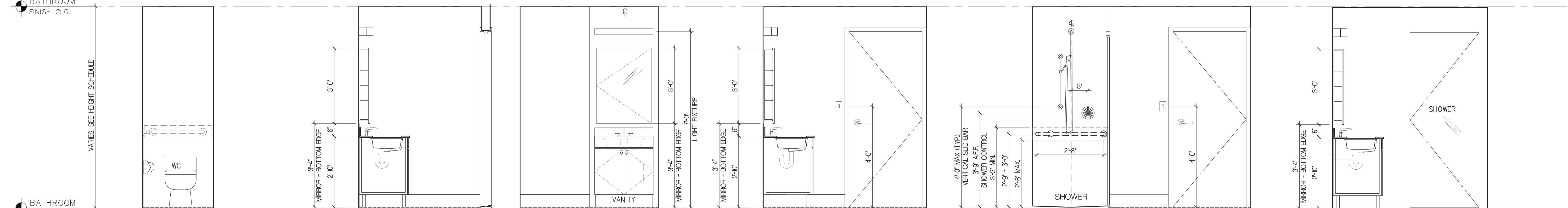
INSTALL GROUNDS IN ALL ADAPTABLE BATHROOMS AND WALL MOUNTED ACCESSORIES



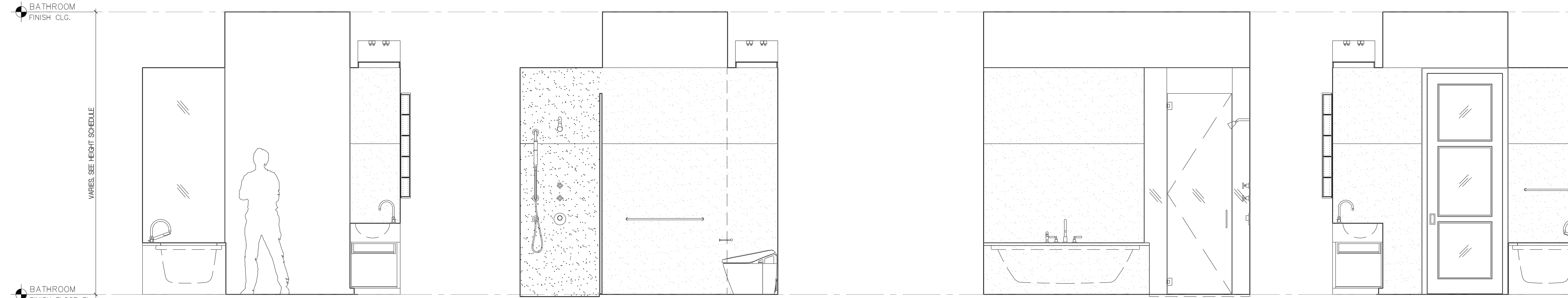
5 ELEVATION 1/2" = 1'-0"
4 ELEVATION 1/2" = 1'-0"
3 ELEVATION 1/2" = 1'-0"
2 ELEVATION 1/2" = 1'-0"
1 ELEVATION 1/2" = 1'-0"



10 ELEVATION 1/2" = 1'-0"
9 ELEVATION 1/2" = 1'-0"
8 ELEVATION 1/2" = 1'-0"
7 ELEVATION 1/2" = 1'-0"
6 ELEVATION 1/2" = 1'-0"



16 ELEVATION 1/2" = 1'-0"
15 ELEVATION 1/2" = 1'-0"
14 ELEVATION 1/2" = 1'-0"
13 ELEVATION 1/2" = 1'-0"
12 ELEVATION 1/2" = 1'-0"
11 ELEVATION 1/2" = 1'-0"



21 ELEVATION 1/2" = 1'-0"
20 ELEVATION 1/2" = 1'-0"
19 ELEVATION 1/2" = 1'-0"
18 ELEVATION 1/2" = 1'-0"
17 ELEVATION 1/2" = 1'-0"

Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

SEAL & SIGNATURE: *[Signature]*
PROJECT NO: 2010.40
DRAWN BY: BC
CHECKED BY: CK
DRAWING NO: A-514.00
DATE: Jun 27, 2012 - 11:57 AM
NYC Development Hub

PROJECT:
440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 WEST AVENUE
NEW YORK, NY 10013 TEL: 212.554.9823

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAN STREET
NEW YORK, NY 10013 TEL: 212.924.9500

STRUCTURAL ENGINEER:
WSP CANTOR SEUNK
228 EAST 67TH STREET
NEW YORK, NY 10017 TEL: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL: 212.255.3682

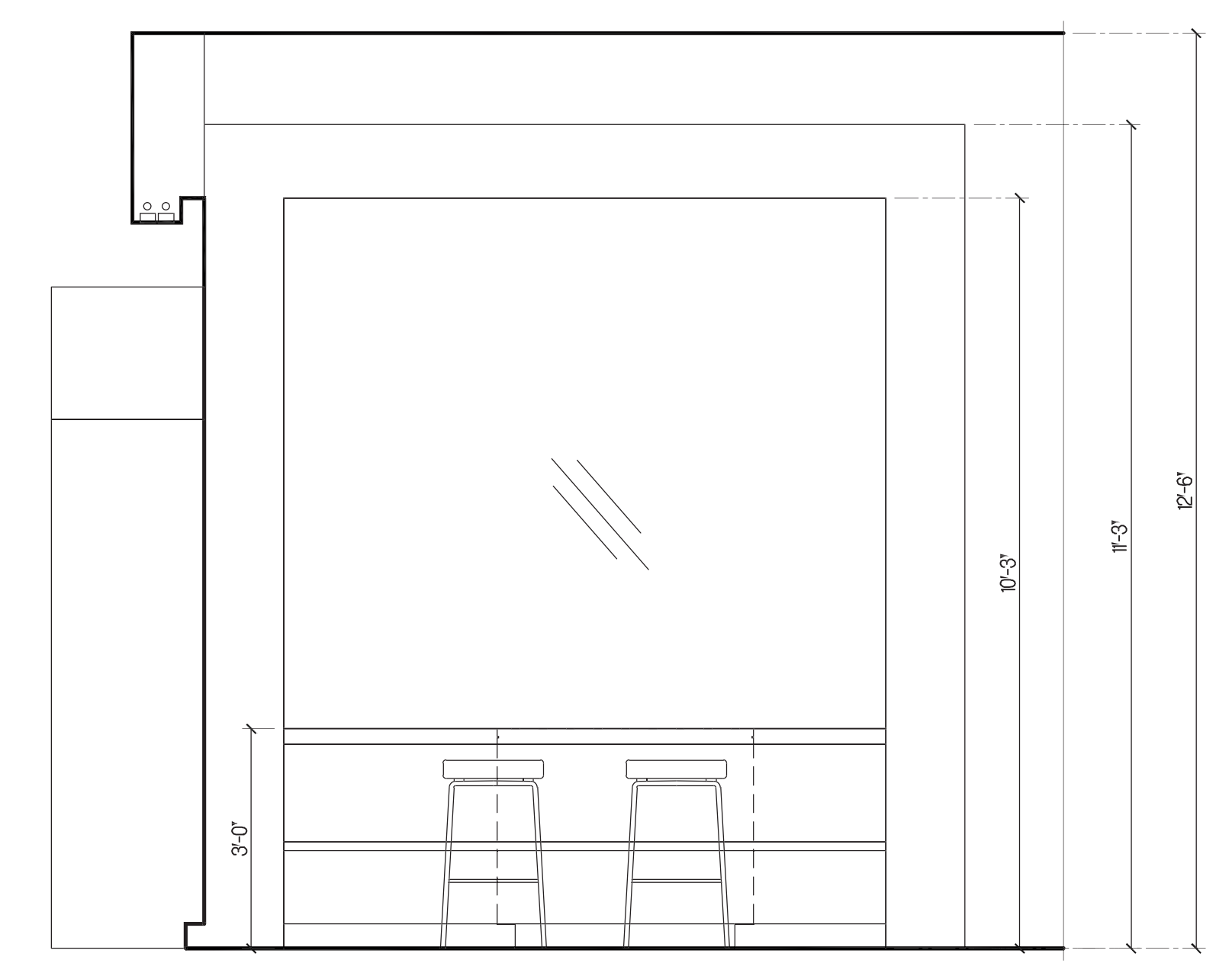
M E P ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL: 800.897.4531

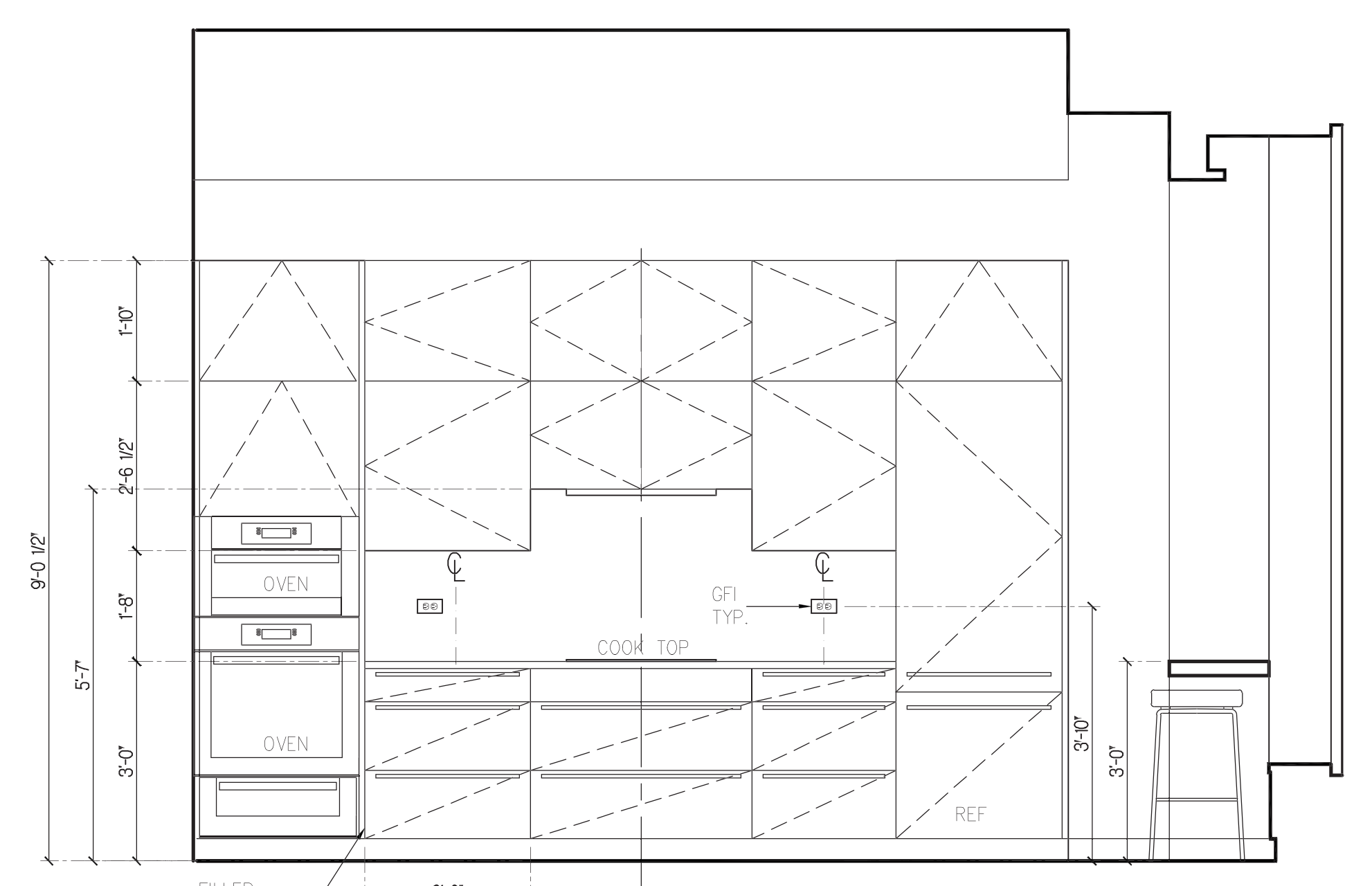
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL: 212.349.9304

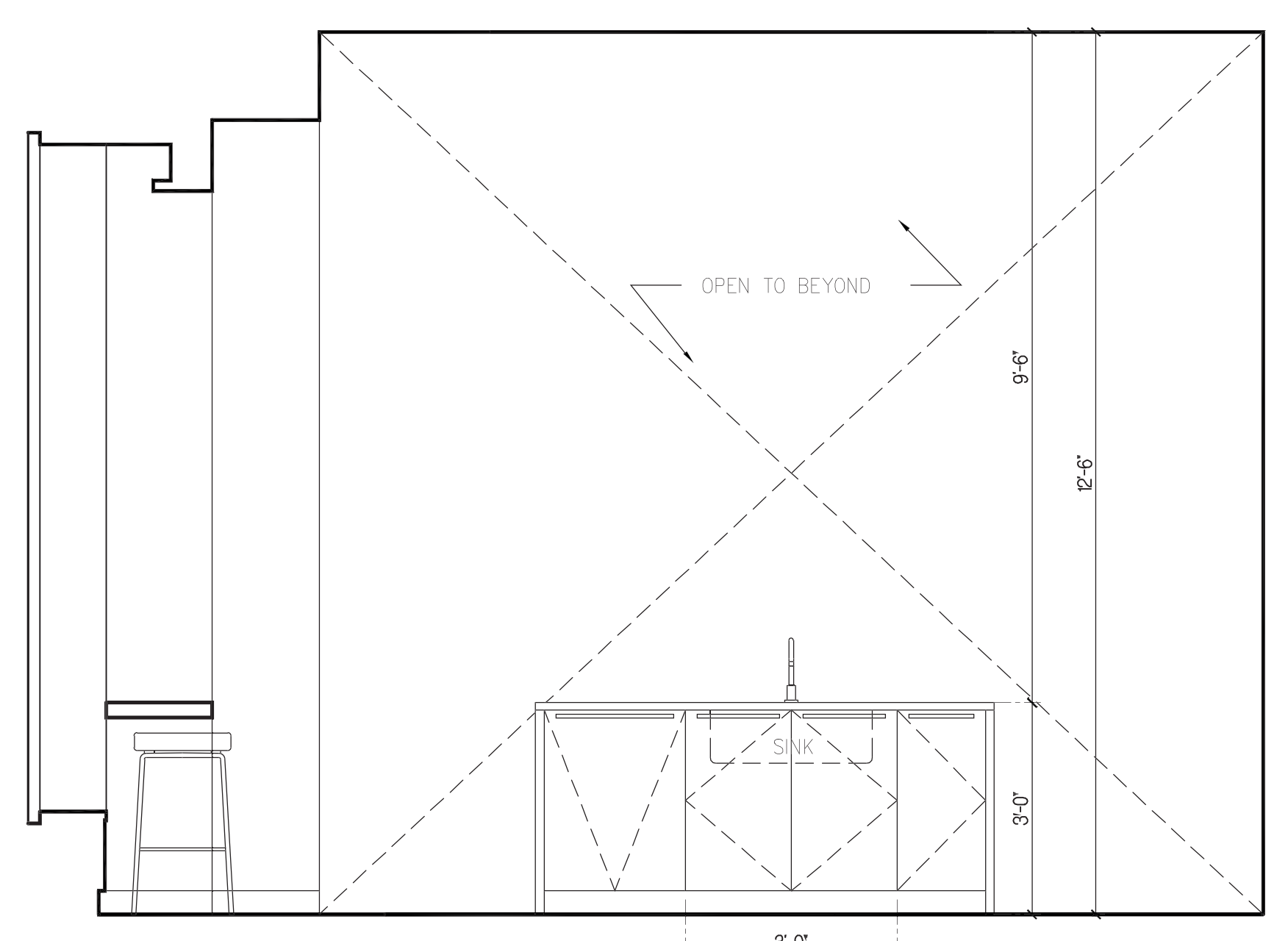
GEO TECHNICAL CONSULTANT:
MUESER RUTLEDGE
148 BRUNNEN
NEW YORK, NY 10122 TEL: 917.339.9310



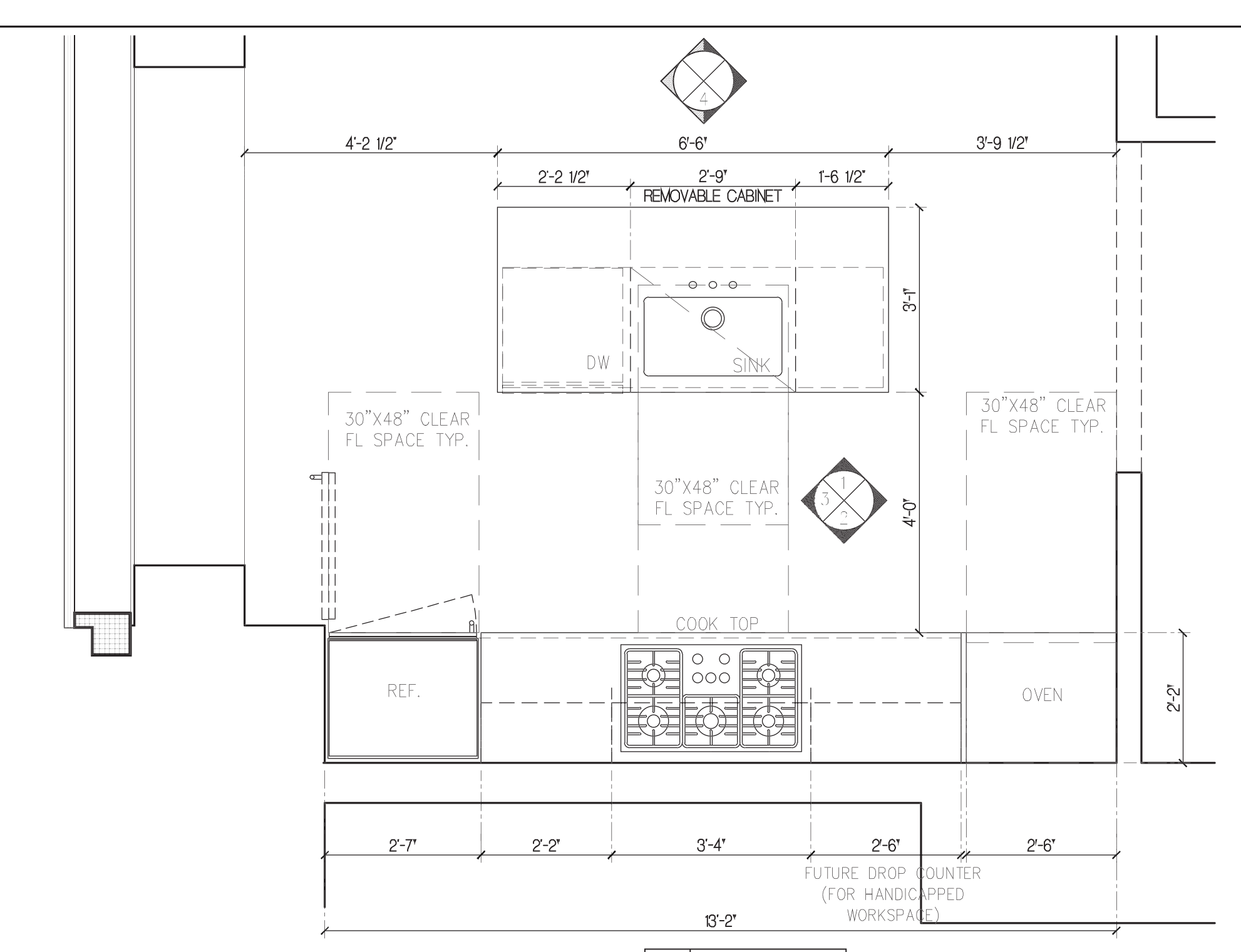
3 ELEVATION SCALE: 1/2"=1'-0"



2 ELEVATION SCALE: 1/2"=1'-0"

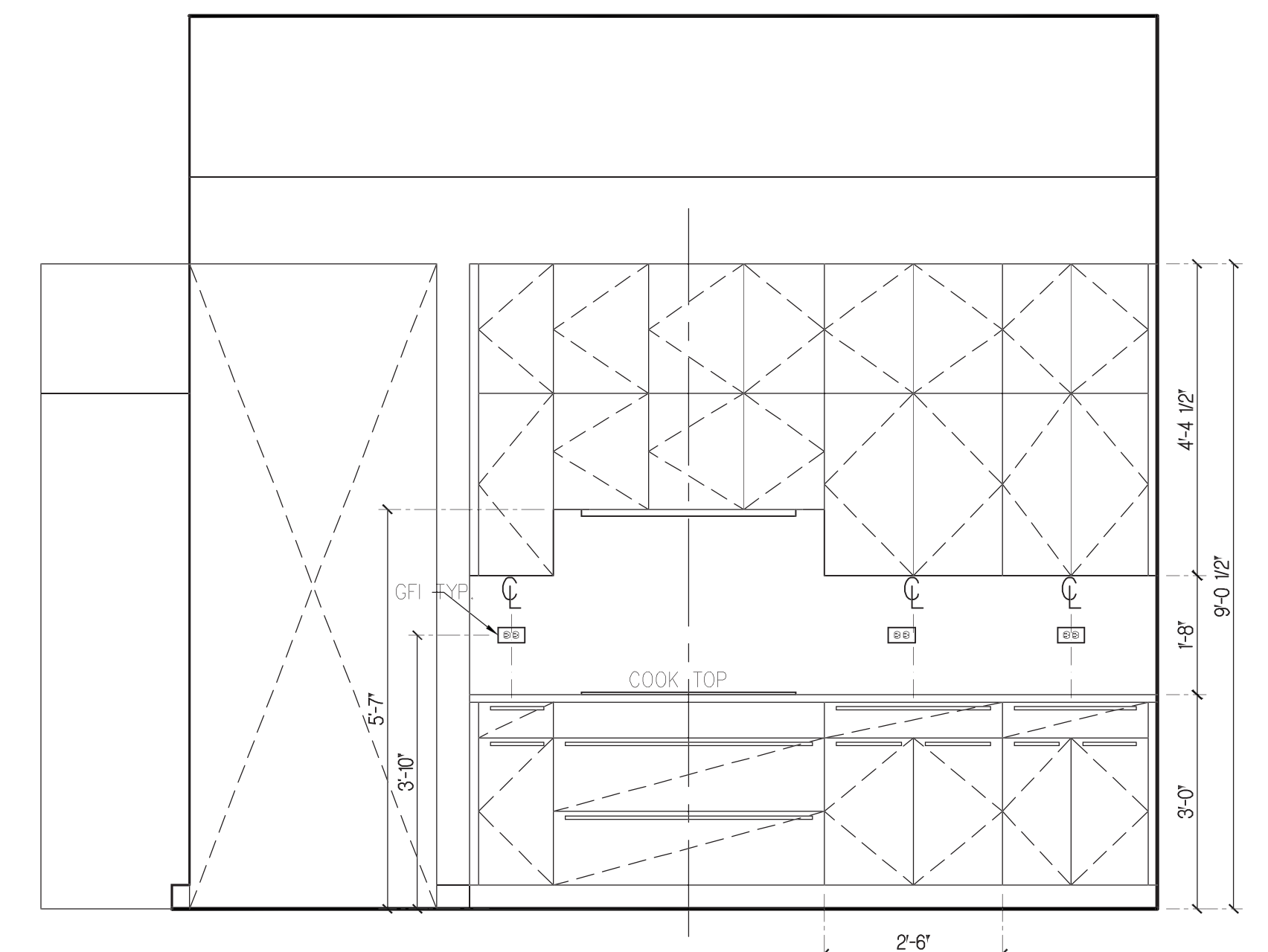


1 ELEVATION SCALE: 1/2"=1'-0"

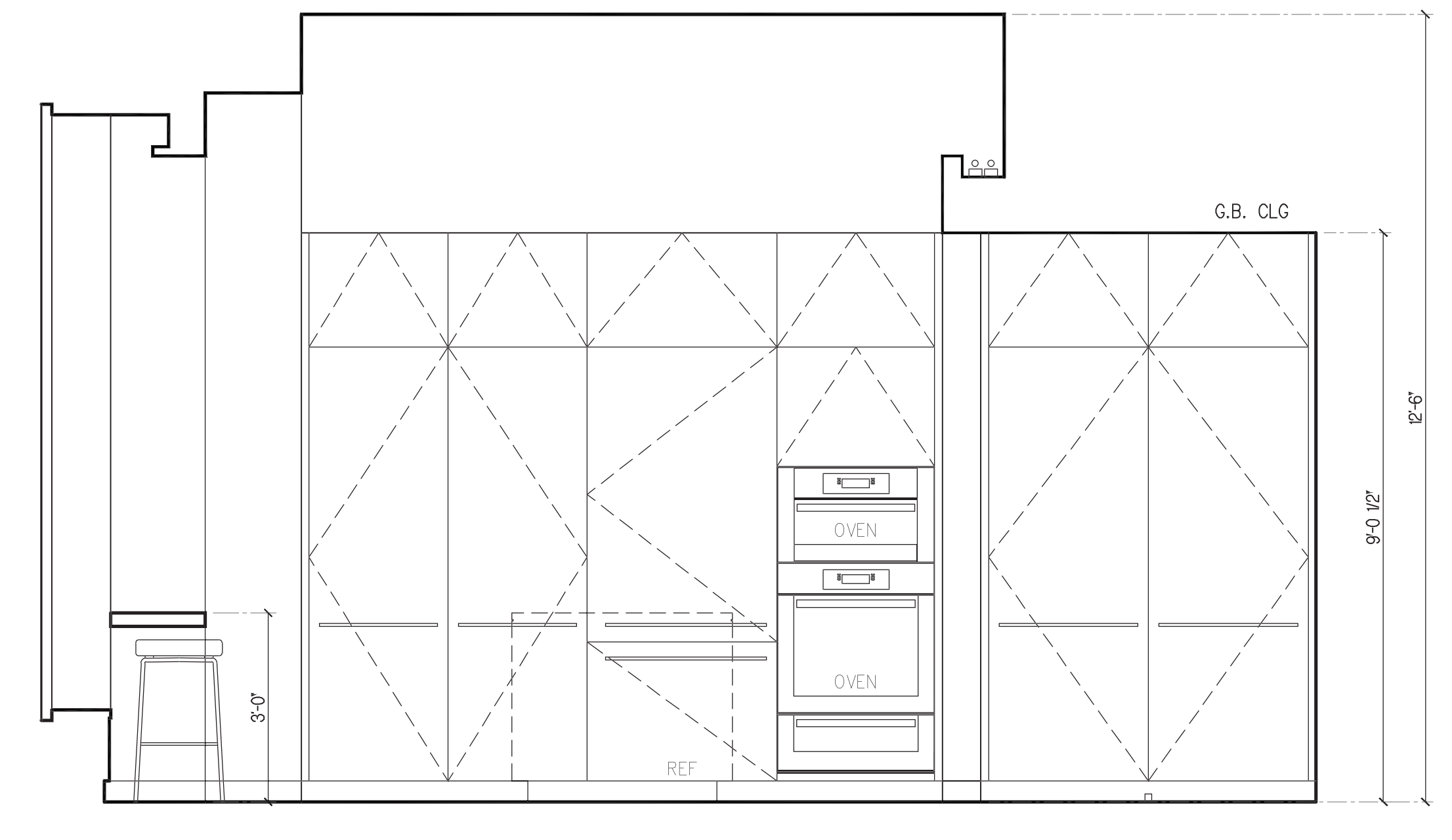


A PLAN SCALE: 1/2"=1'-0"

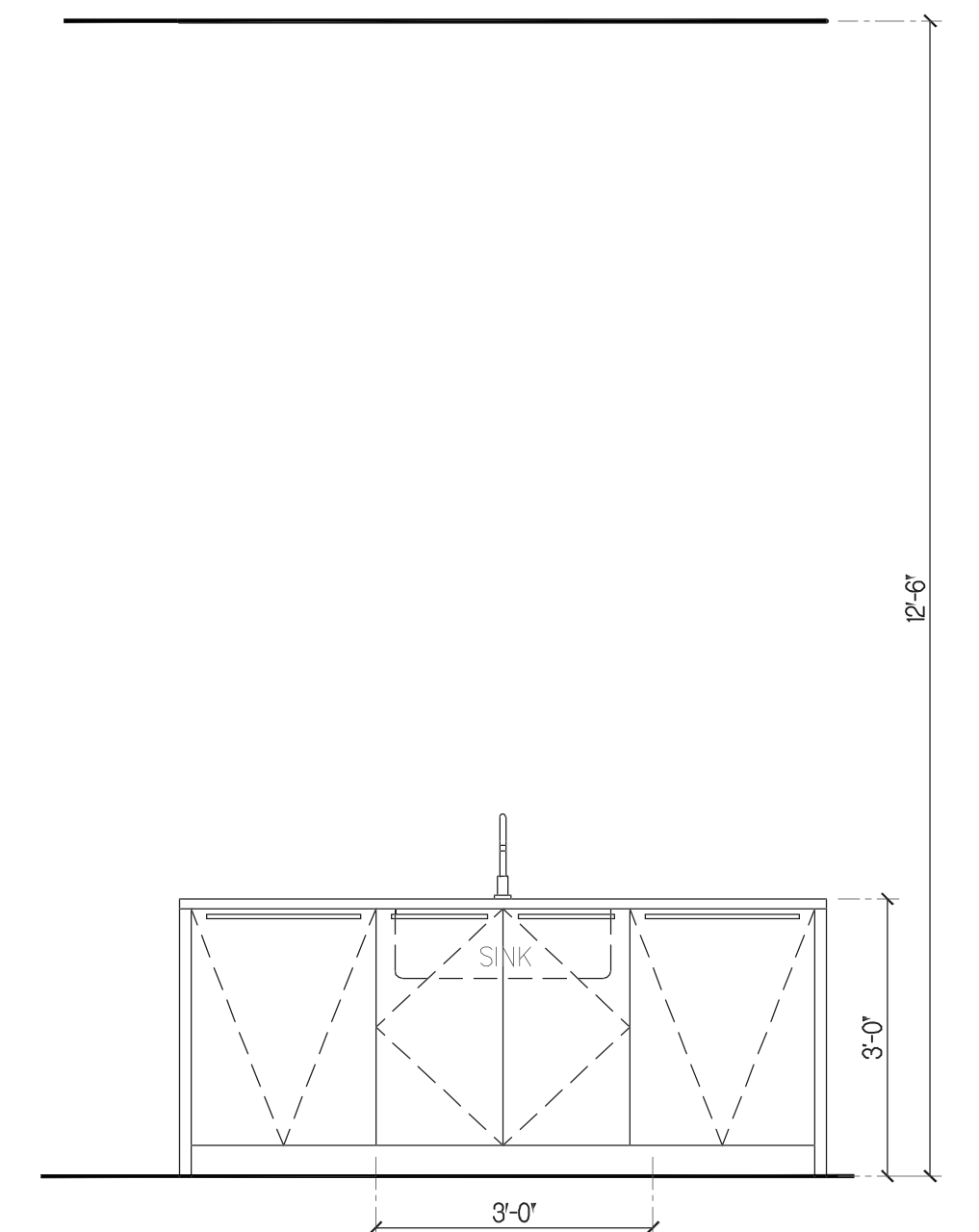
KITCHEN TYPE: K-5



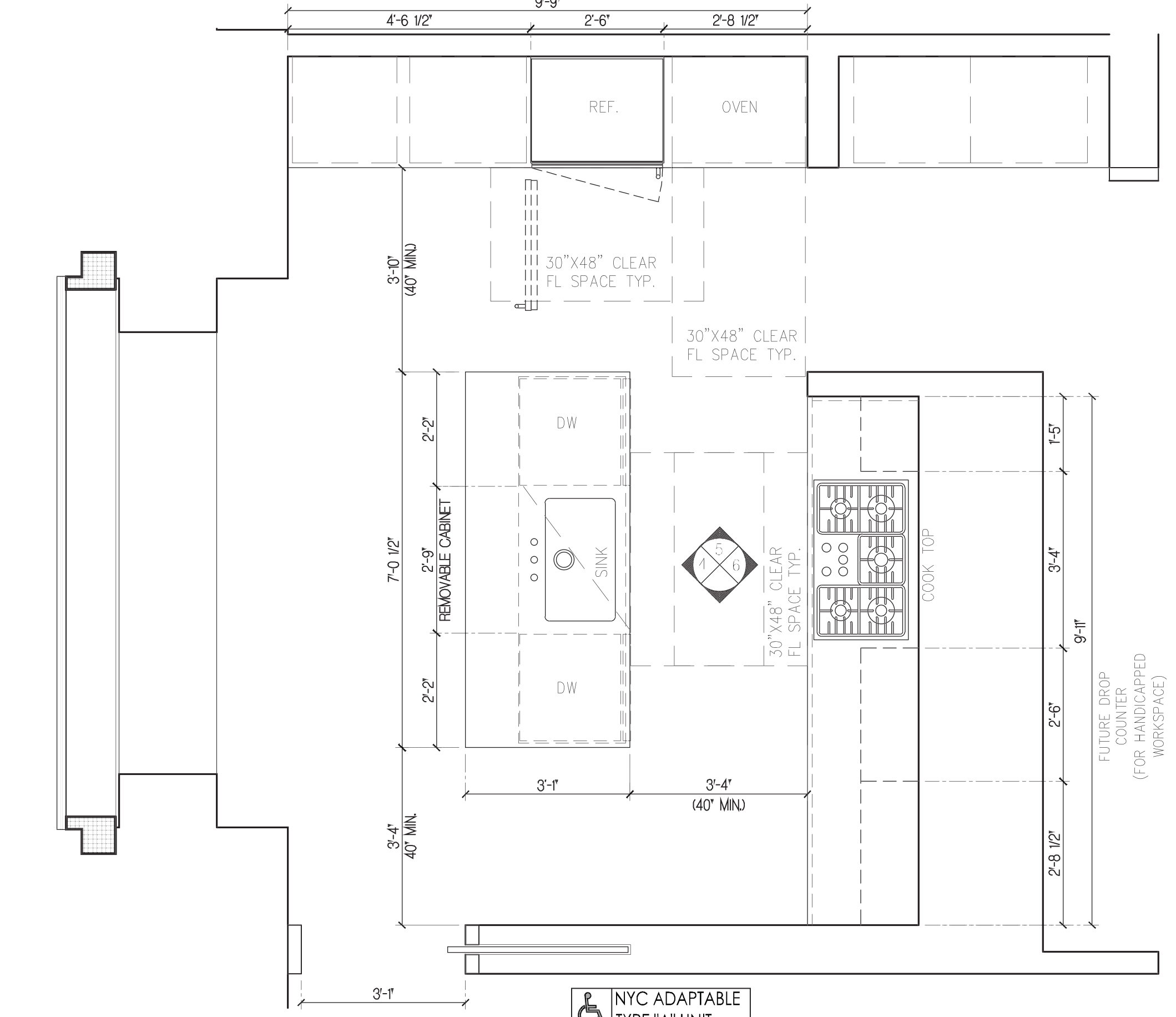
6 ELEVATION SCALE: 1/2"=1'-0"



5 ELEVATION SCALE: 1/2"=1'-0"

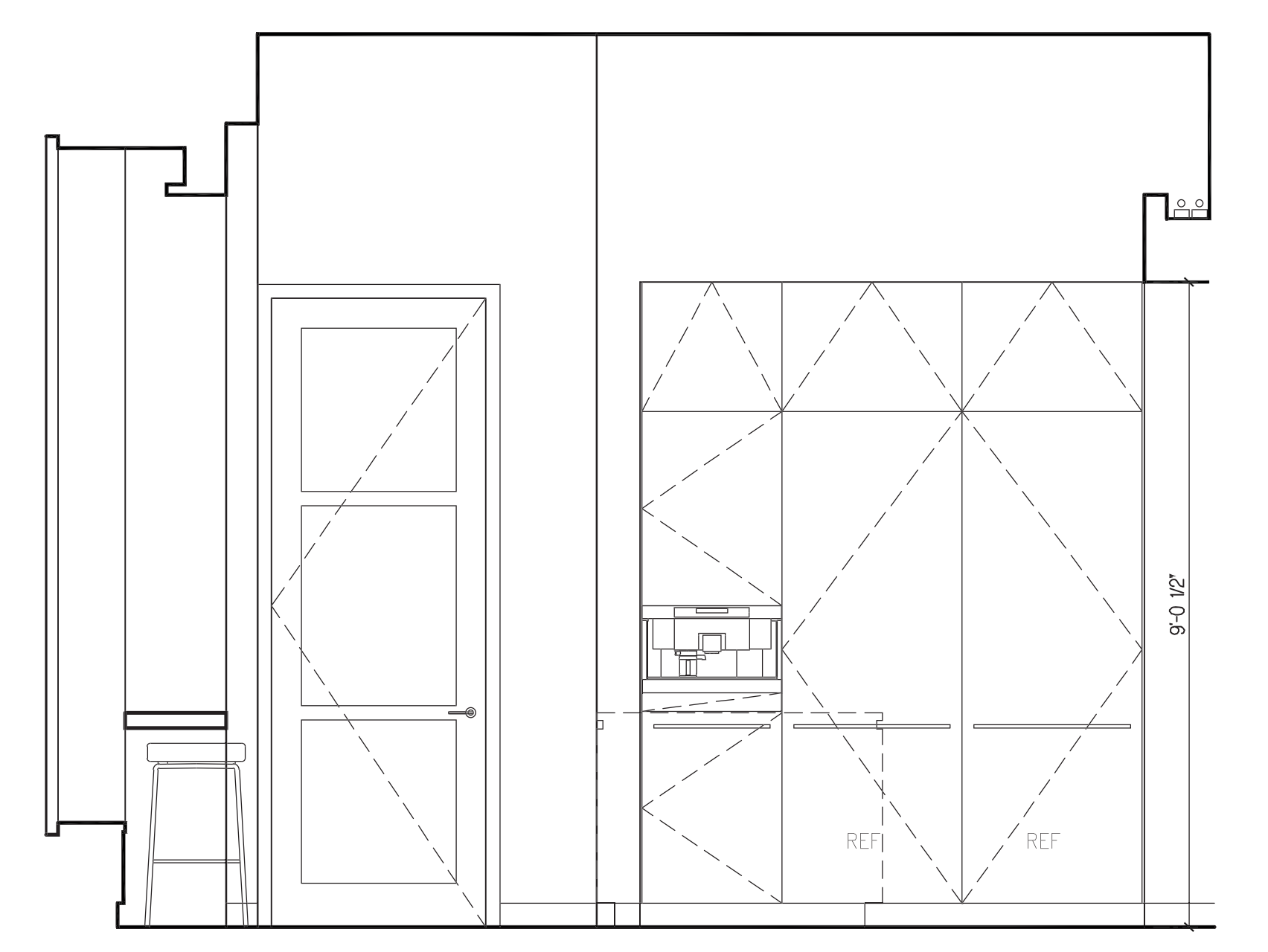


4 ELEVATION SCALE: 1/2"=1'-0"

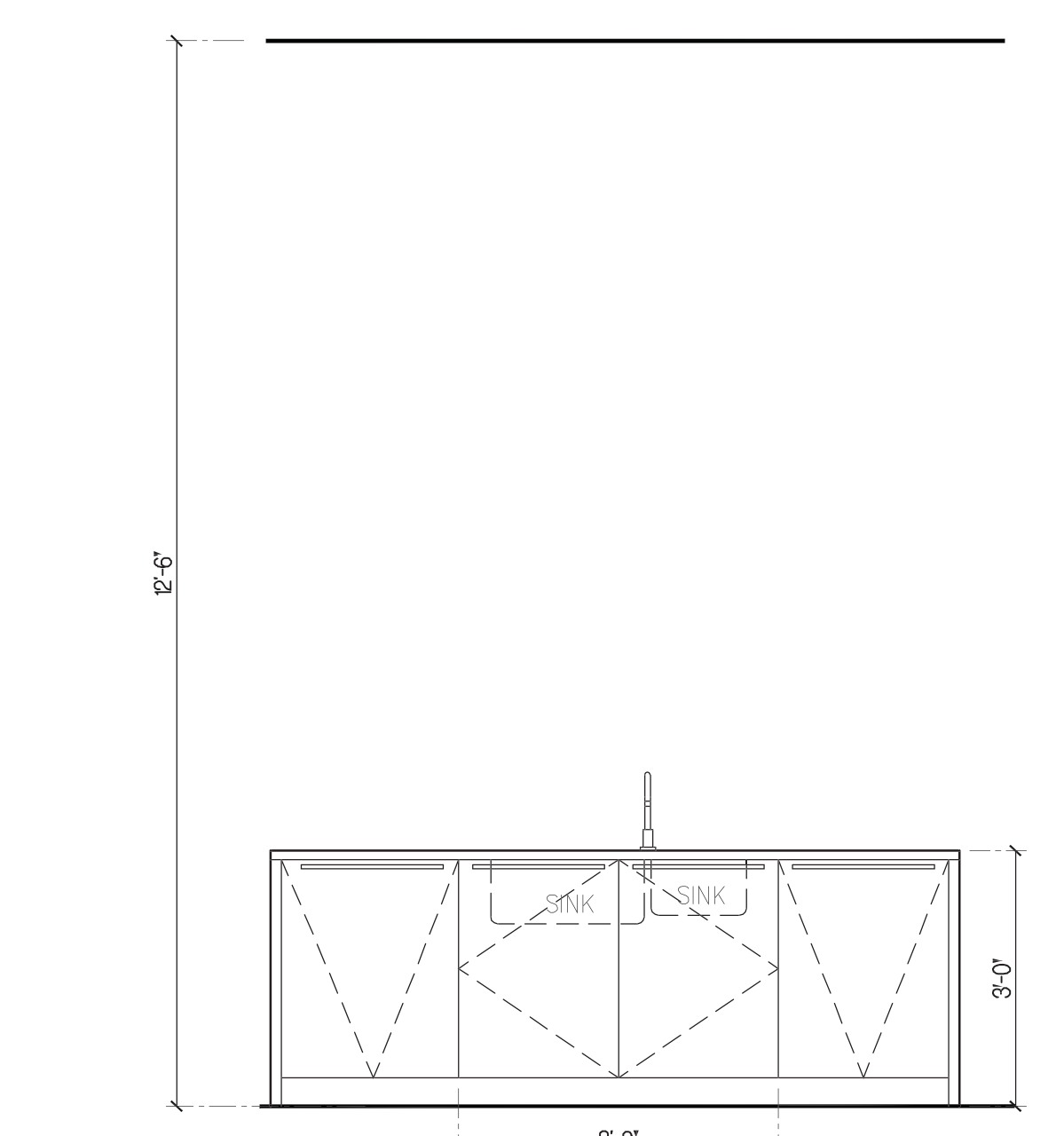


B PLAN SCALE: 1/2"=1'-0"

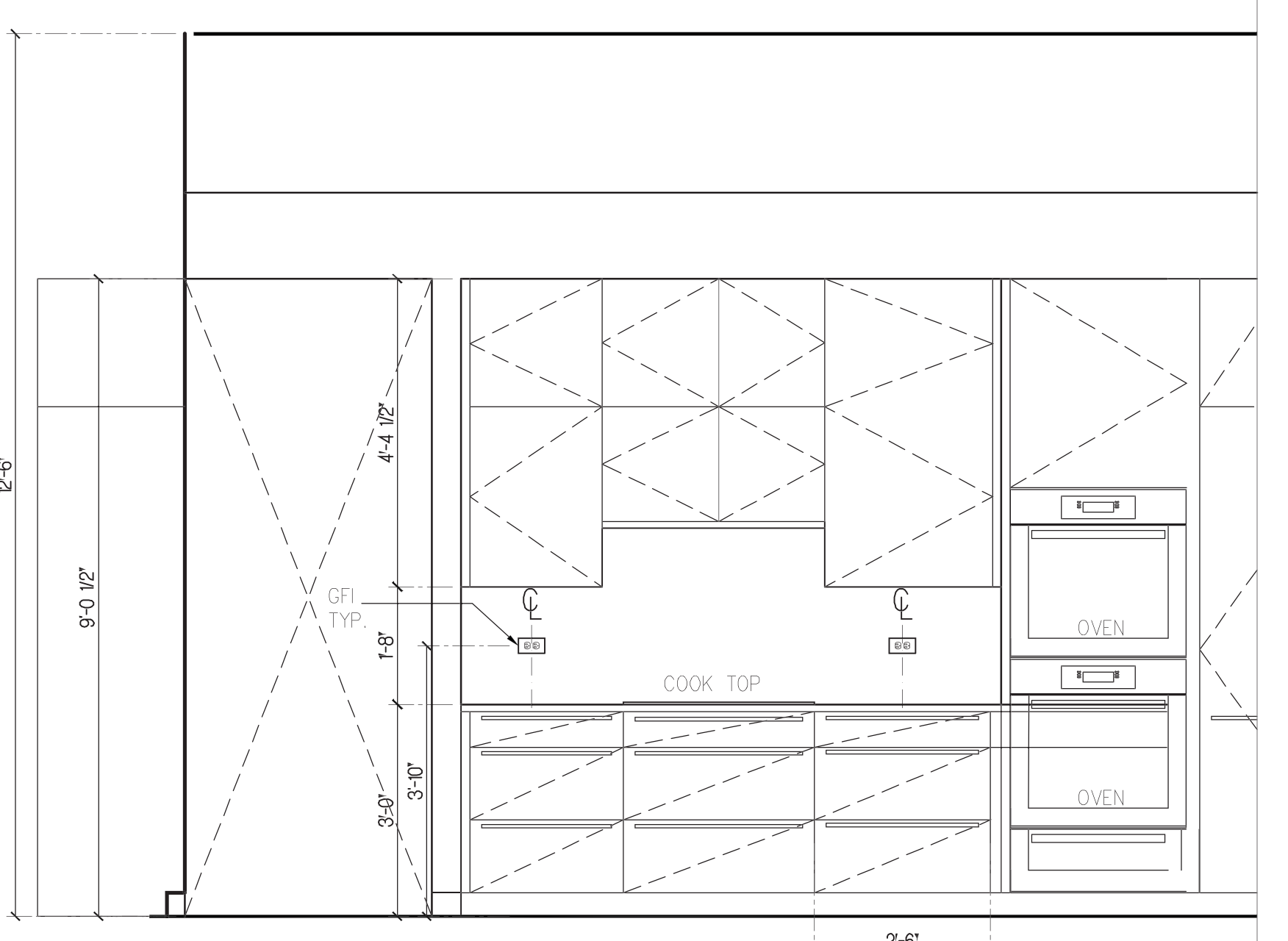
KITCHEN TYPE: K-6



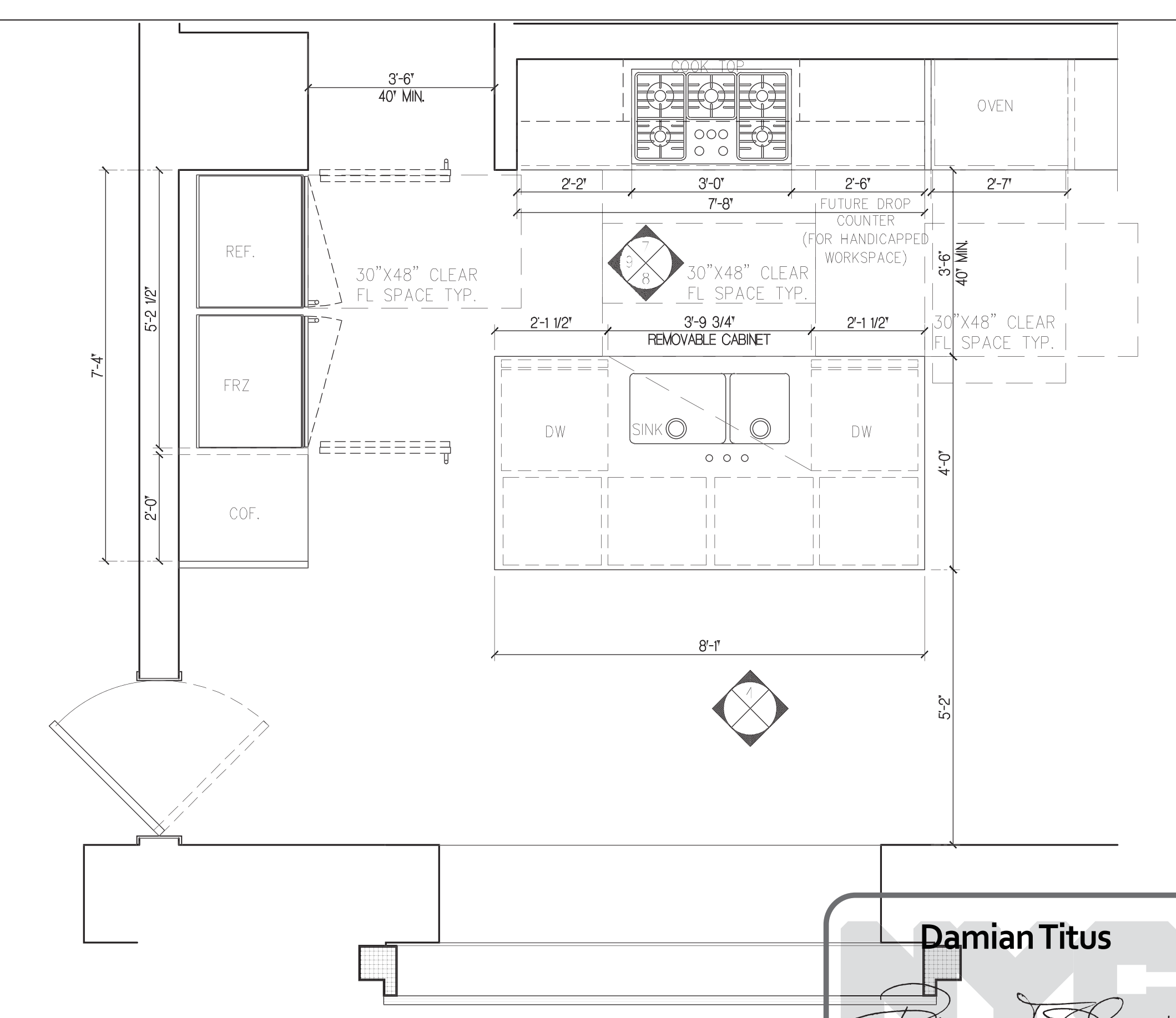
9 ELEVATION SCALE: 1/2"=1'-0"



8 ELEVATION SCALE: 1/2"=1'-0"



7 ELEVATION SCALE: 1/2"=1'-0"

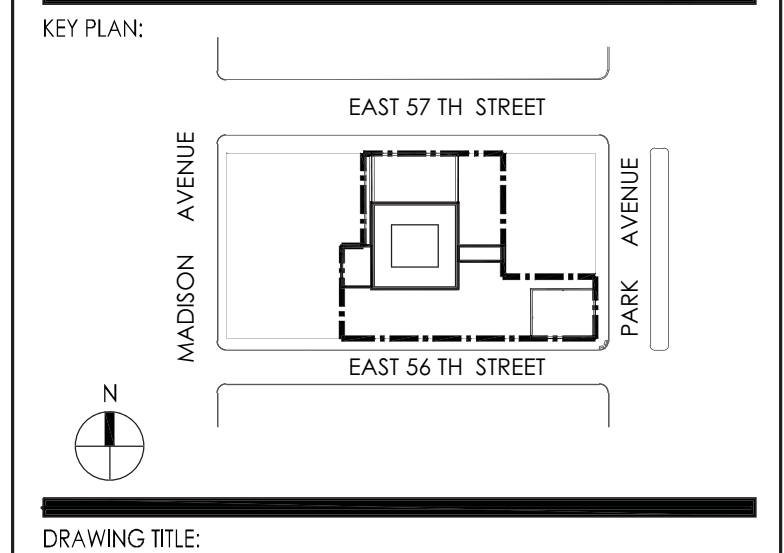
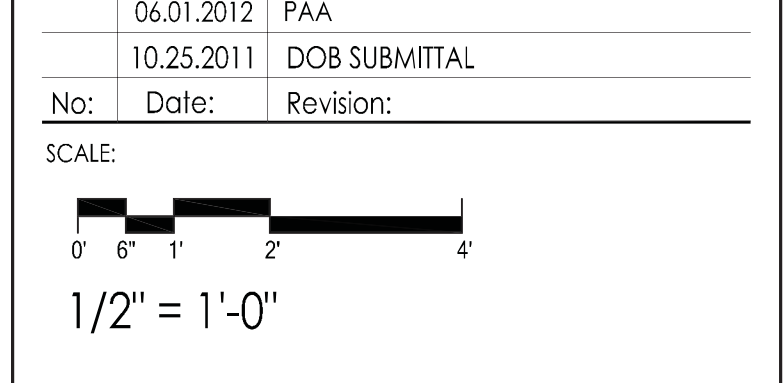


C PLAN SCALE: 1/2"=1'-0"

KITCHEN TYPE: K-7

Damian Titus
Buildings
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

06.01.2012	PAA
10.25.2011	DOB SUBMITTAL
No:	Date:
Revision:	Revision:



KITCHEN PLANS & ELEVATIONS
K-5, K-6, K-7 AND K-8

SEAL & SIGNATURE:	DATE:
	PROJECT NO: 2010-40
DRAWN BY: NP	CHECKED BY: GK
DRAWING NO: A-522.00	CADD FILE NO:

440 PARK AVENUE

OWNER:
440 PARK AVE (NY) OWNER, LLC
C/O
MCGRAW HUDSON CONSTR. CORP.

DEVELOPER:
MCGRAW HUDSON CONSTR. CORP.
75 WEST AVENUE
NEW YORK, NY 10013 TEL.: 212.554.9823

EXECUTIVE ARCHITECT:
SLICE ARCHITECTS, LLP
841 BROADWAY
NEW YORK, NY 10003 TEL.: 212.979.8400

DESIGN ARCHITECT:
RAFAEL VINOLY ARCHITECTS PC
50 VANDAM STREET
NEW YORK, NY 10013 TEL.: 212.924.5060

STRUCTURAL ENGINEER:
WSP CANTOR SENIUK
228 EAST 46TH STREET
NEW YORK, NY 10017 TEL.: 212.687.9888

CONSULTING STRUCTURAL ENGINEER:
SCHLAICH BERGERMANN AND PARTNER LP
554 8TH AVENUE
NEW YORK, NY 10018 TEL.: 212.255.3682

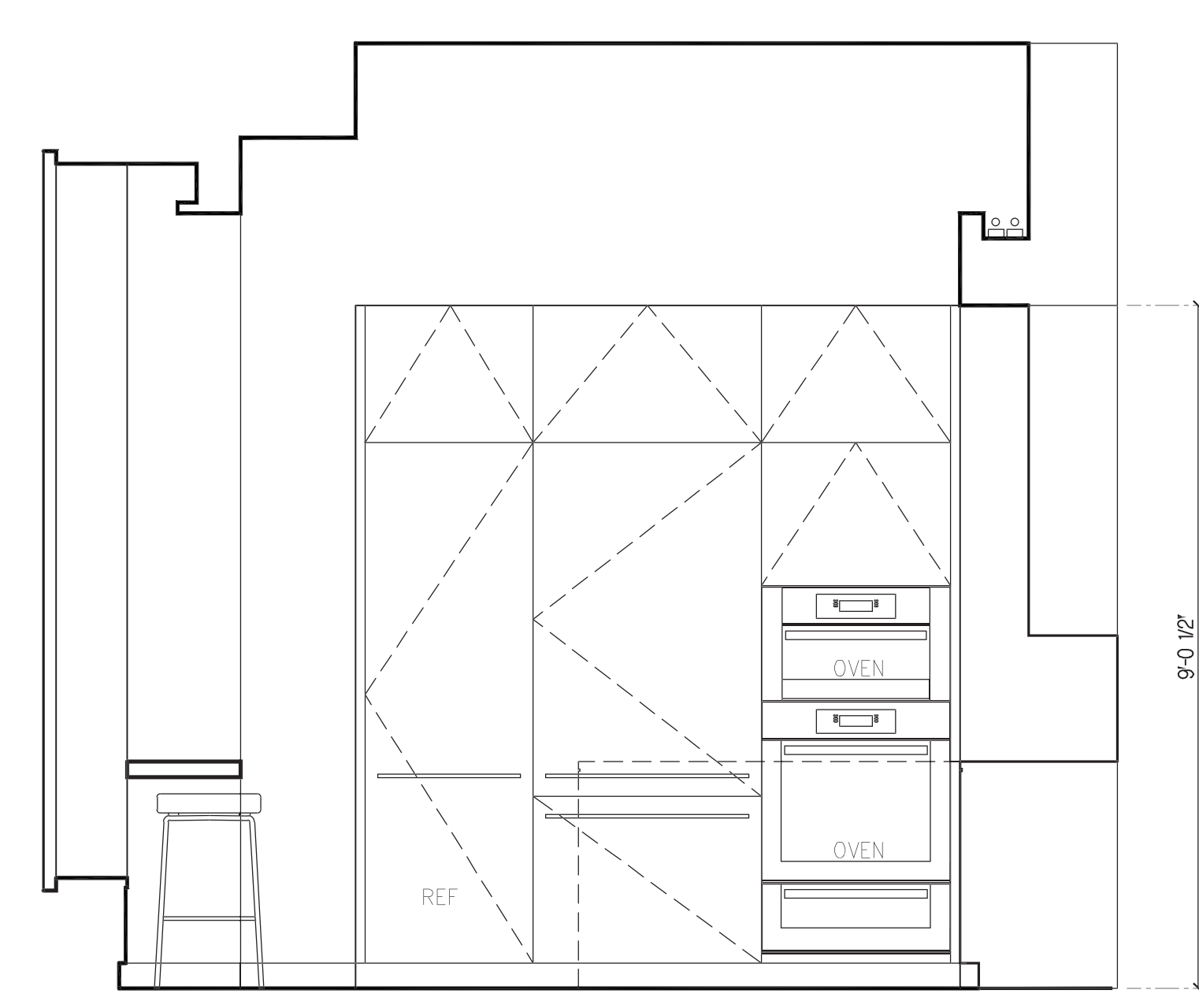
M E P ENGINEER:
WSP FLACK + KURTZ
312 SEVENTH AVENUE
NEW YORK, NY 10018 TEL.: 212.523.9600

ELEVATOR CONSULTANT:
JENKINS & HUNTINGTON, INC.
1251 AVENUE OF THE AMERICAS
NEW YORK, NY 10020 TEL.: 800.897.4531

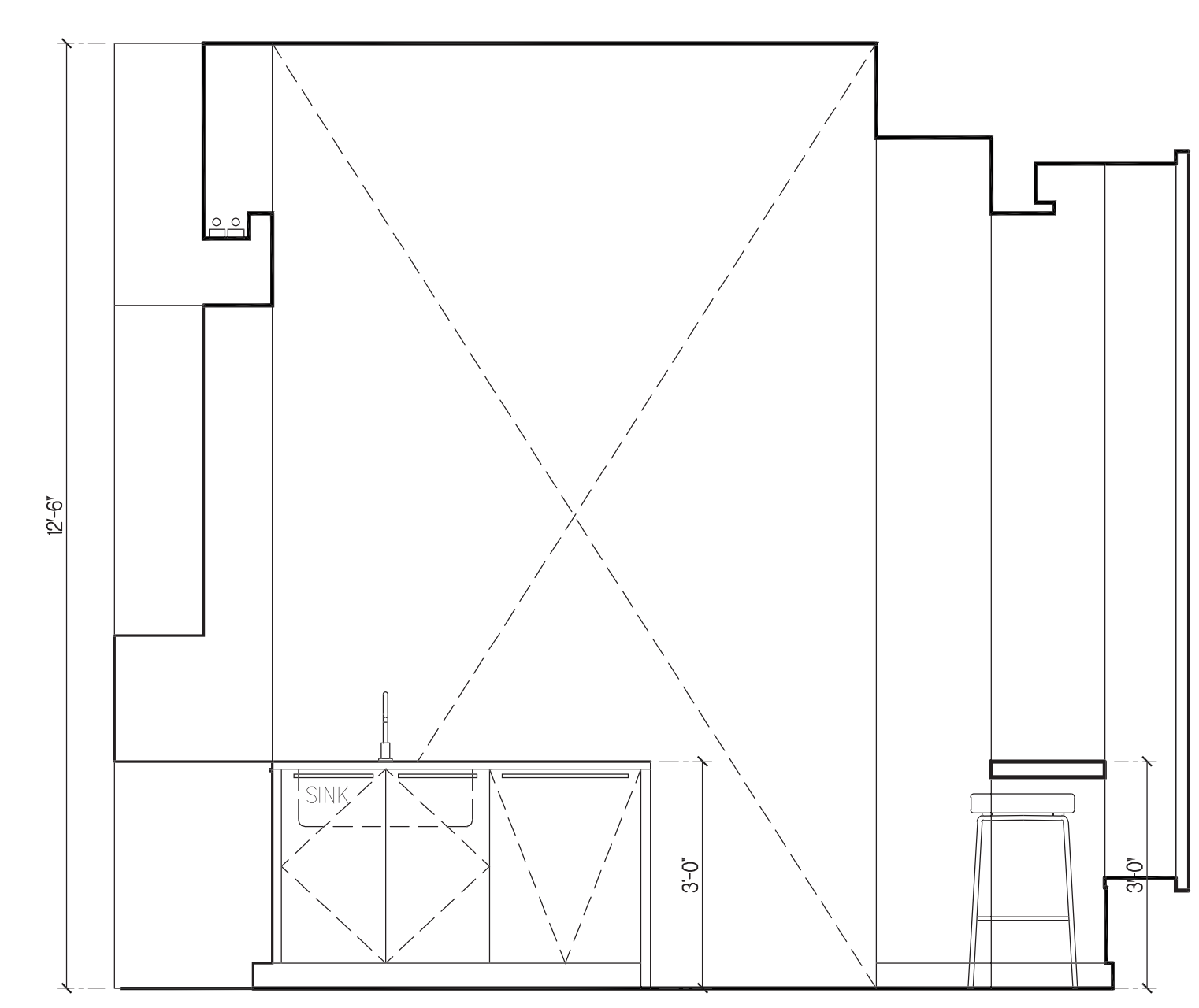
ZONING CONSULTANT:
DEVELOPMENT CONSULTING SERVICES, INC.
300 WEST 42ND STREET
NEW YORK, NY 10018 TEL.: 212.714.0280

CODE CONSULTANT / EXPEDITING:
JEROME S. GILLMAN CONSULTING
ARCHITECTS, P.C.
40 WORTH STREET
NEW YORK, NY 10013 ZONING CONSULTANT:
TEL.: 212.349.9304

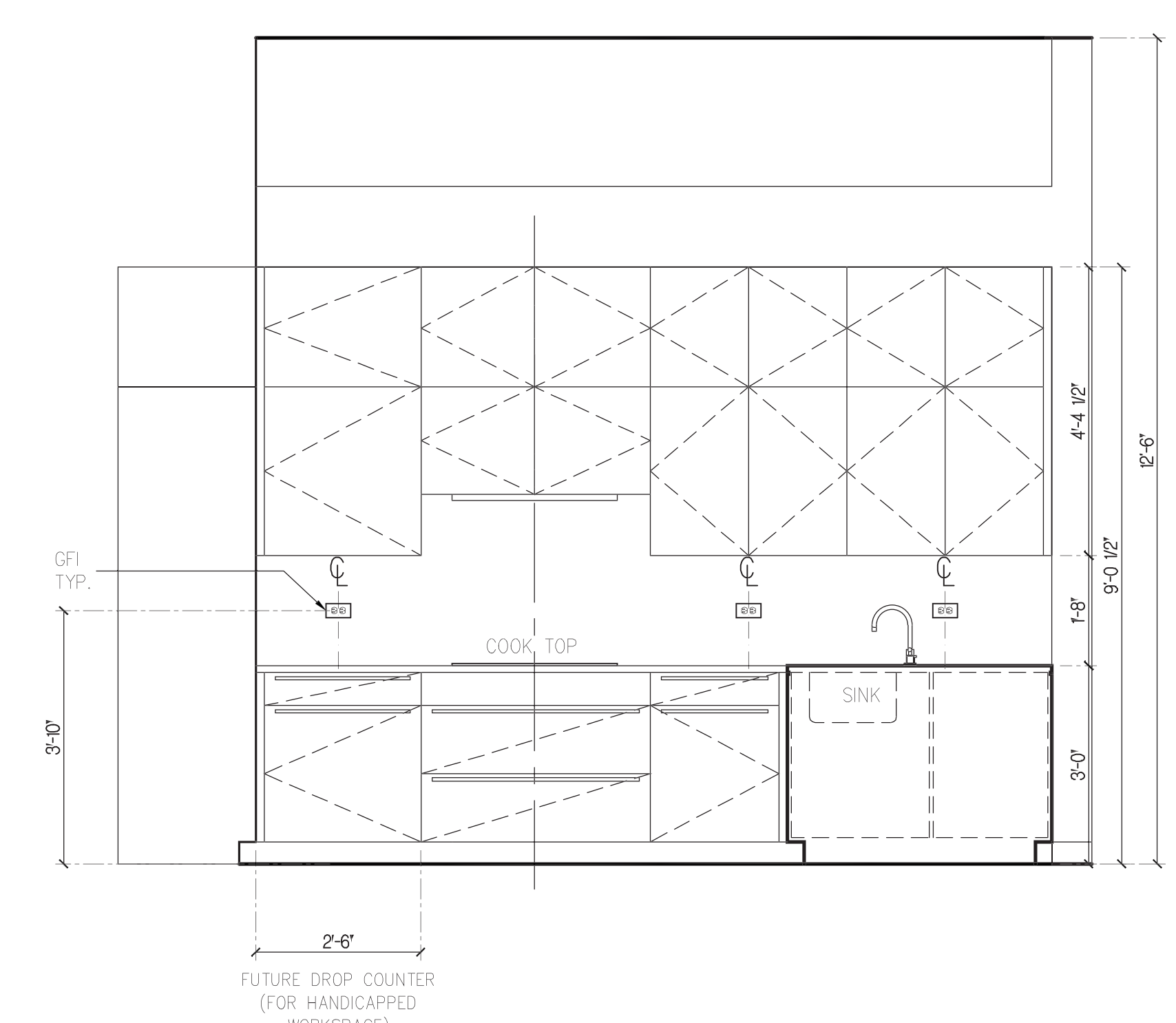
GEOTECHNICAL CONSULTANT:
MUESER RUTLEDGE
147 WEST 17TH AVENUE
NEW YORK, NY 10011 TEL.: 917.339.9310



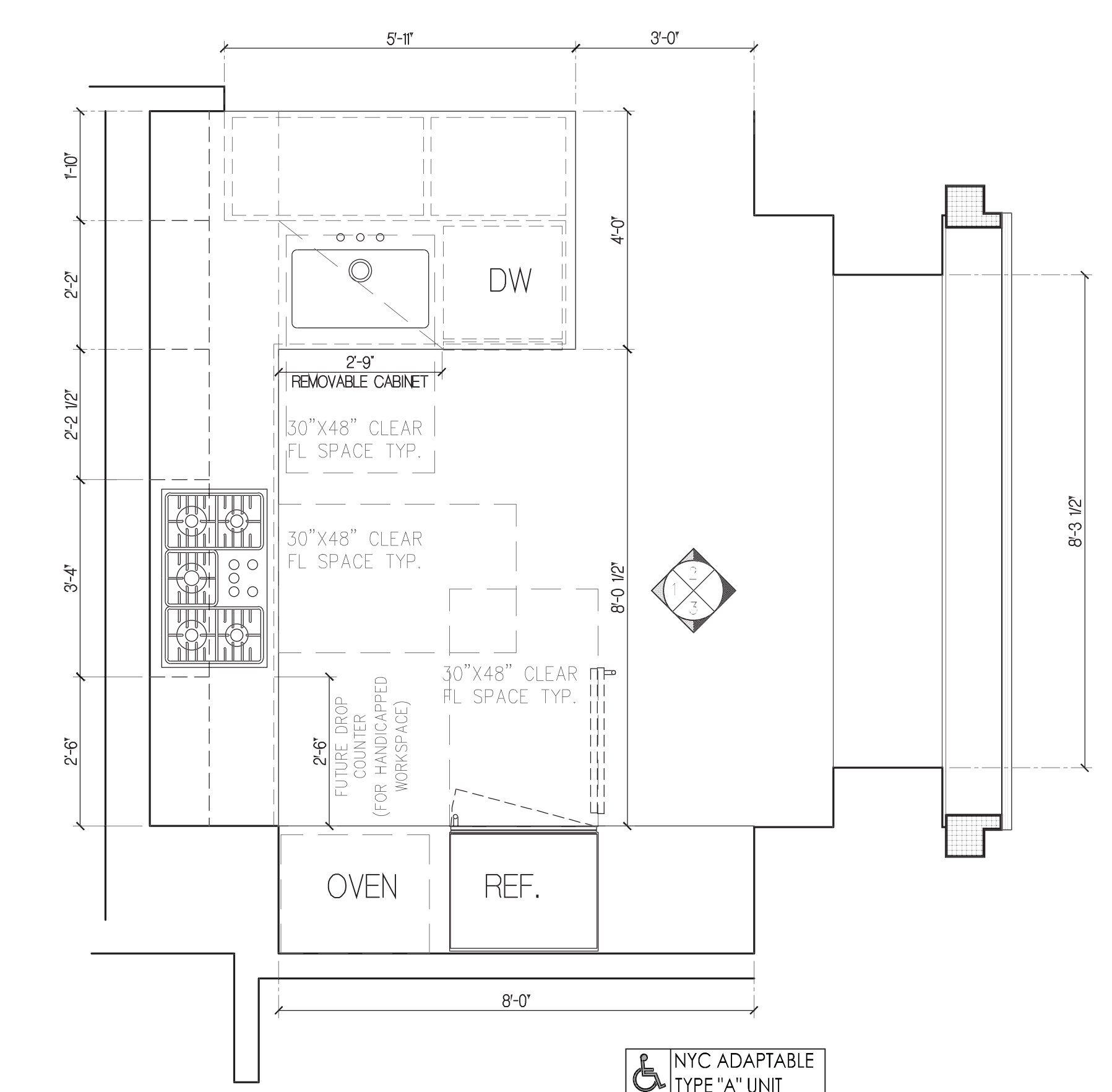
3 ELEVATION SCALE: 1/2" = 1'-0"



2 ELEVATION SCALE: 1/2" = 1'-0"



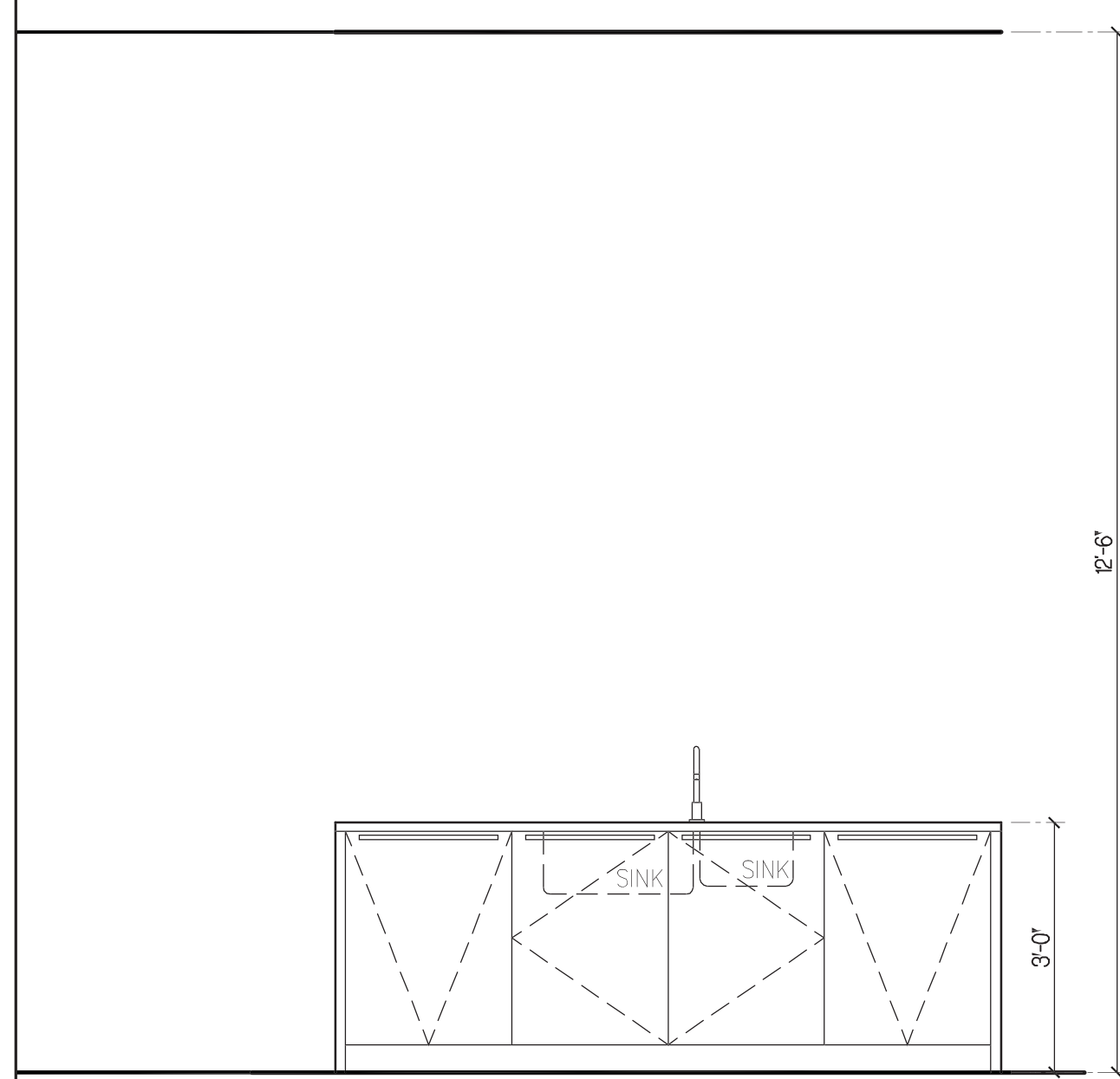
1 ELEVATION SCALE: 1/2" = 1'-0"



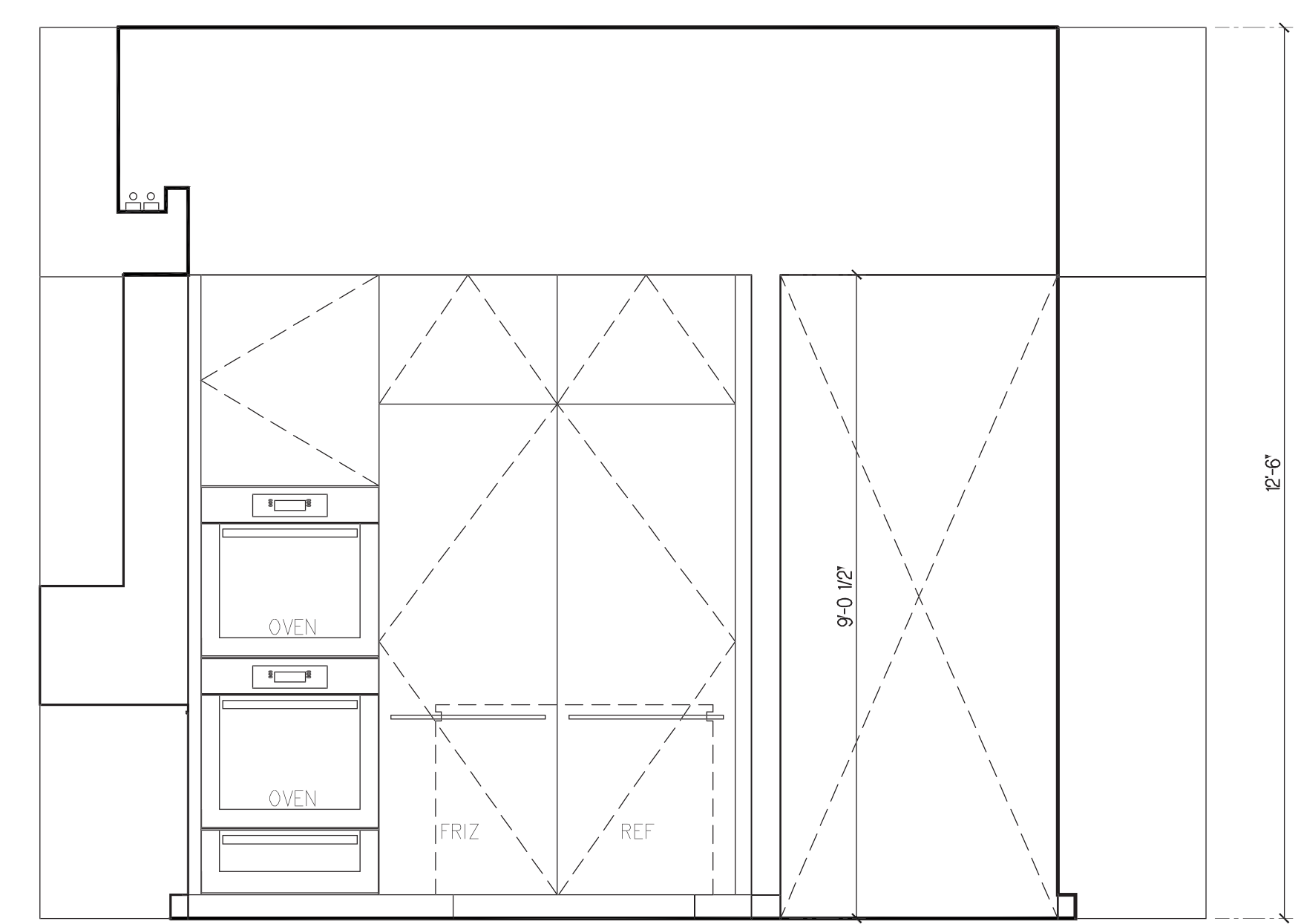
A PLAN SCALE: 1/2" = 1'-0"

KITCHEN TYPE	FLOOR	UNIT
K-8	18, 20, 22, 24, 26 & 28	A & B
	32 THRU 43	A

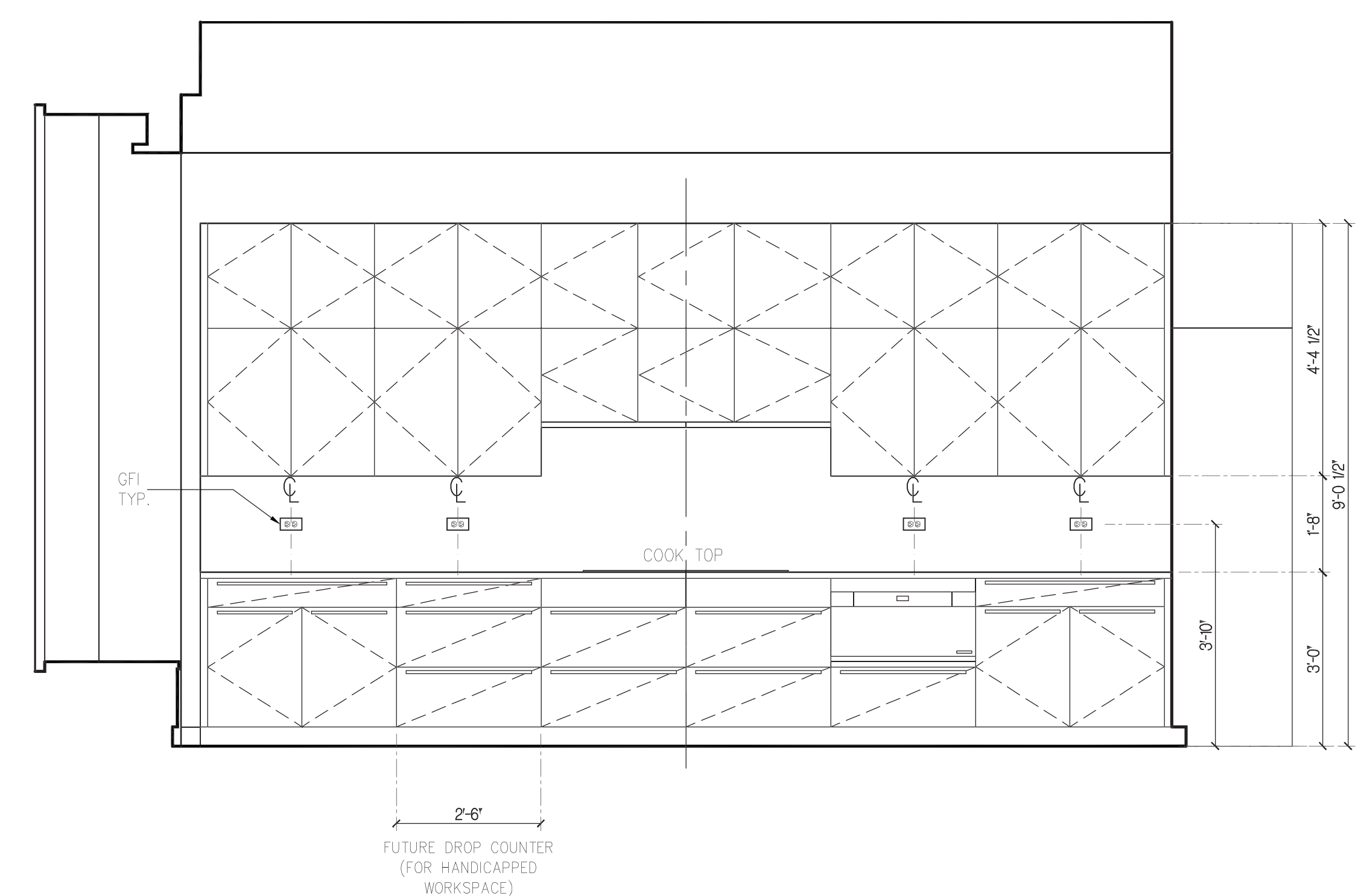
KITCHEN TYPE: K-8



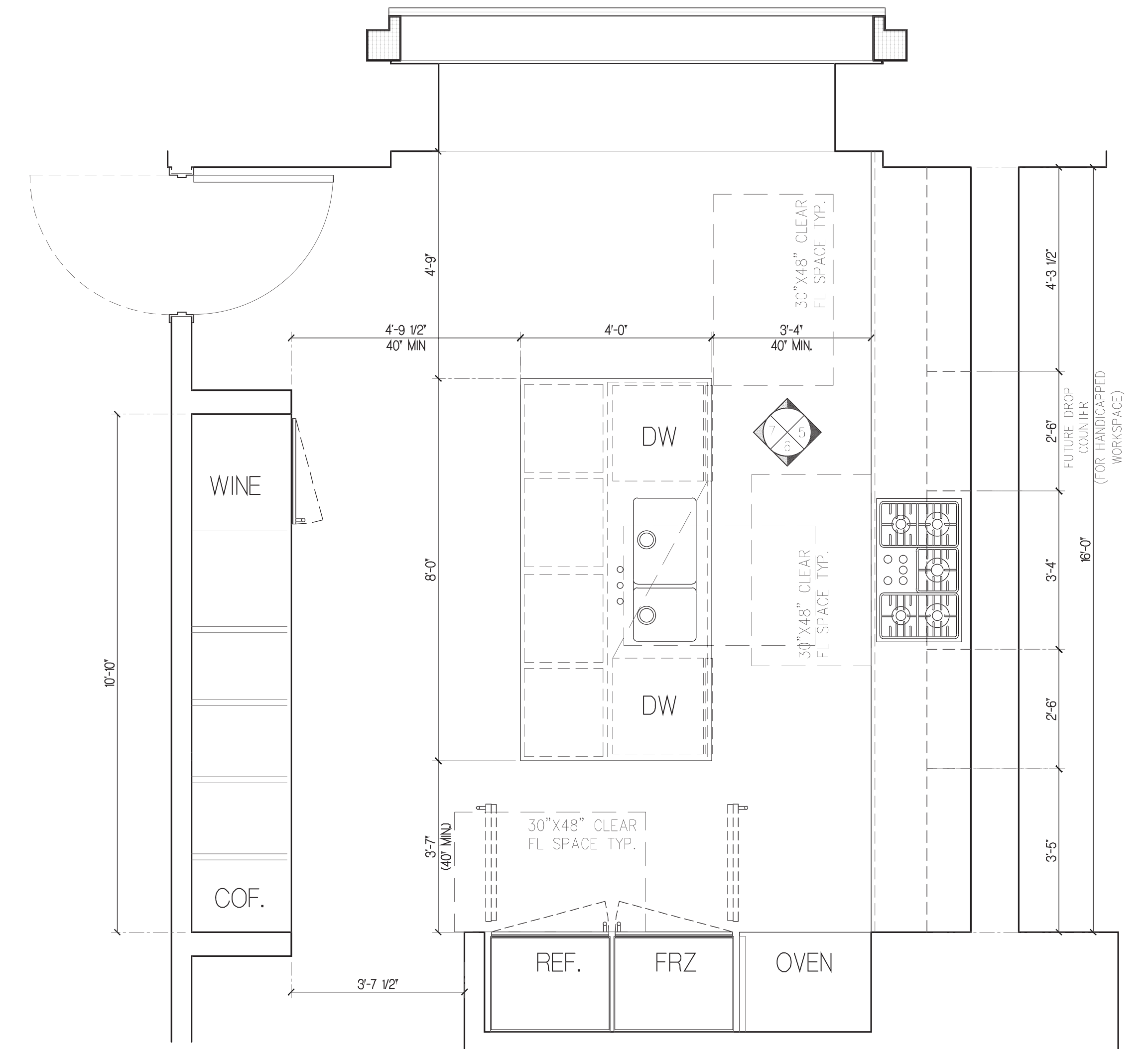
6 ELEVATION SCALE: 1/2" = 1'-0"



5 ELEVATION SCALE: 1/2" = 1'-0"



4 ELEVATION SCALE: 1/2" = 1'-0"



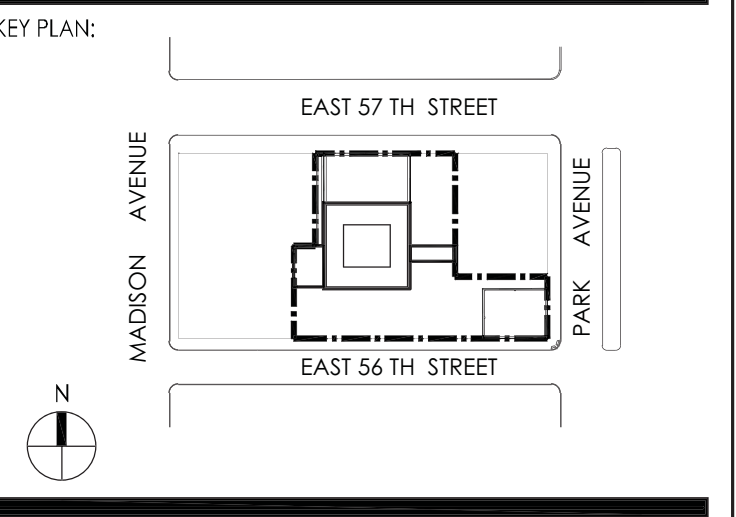
B PLAN SCALE: 1/2" = 1'-0"

KITCHEN TYPE	FLOOR	UNIT
K-9	32 THRU 43	A & B
	47 THRU 57	A & B

KITCHEN TYPE: K-9

Damian Titus
APPROVED
Under Directive 2 of 1975
AMENDED APPLICATION
Date/Time: Jun 27, 2012 - 11:57 AM
NYC Development Hub

06.01.2012 PAA
10.25.2011 DOB SUBMITTAL
No. Date: Revision:
SCALE:
0 1 2
1/2" = 1'-0"



KITCHEN PLANS & ELEVATIONS
SEAL & SIGNATURE: [Signature]
DATE: 2010-08
DRAWN BY: NP
CHECKED BY: GK
DRAWING NO.: A-523.00
CAD FILE NO.:
188 OF 189